



Springfield Downtown and Public Realm Design Standards | Task 2.5

Downtown Development Standards

draft

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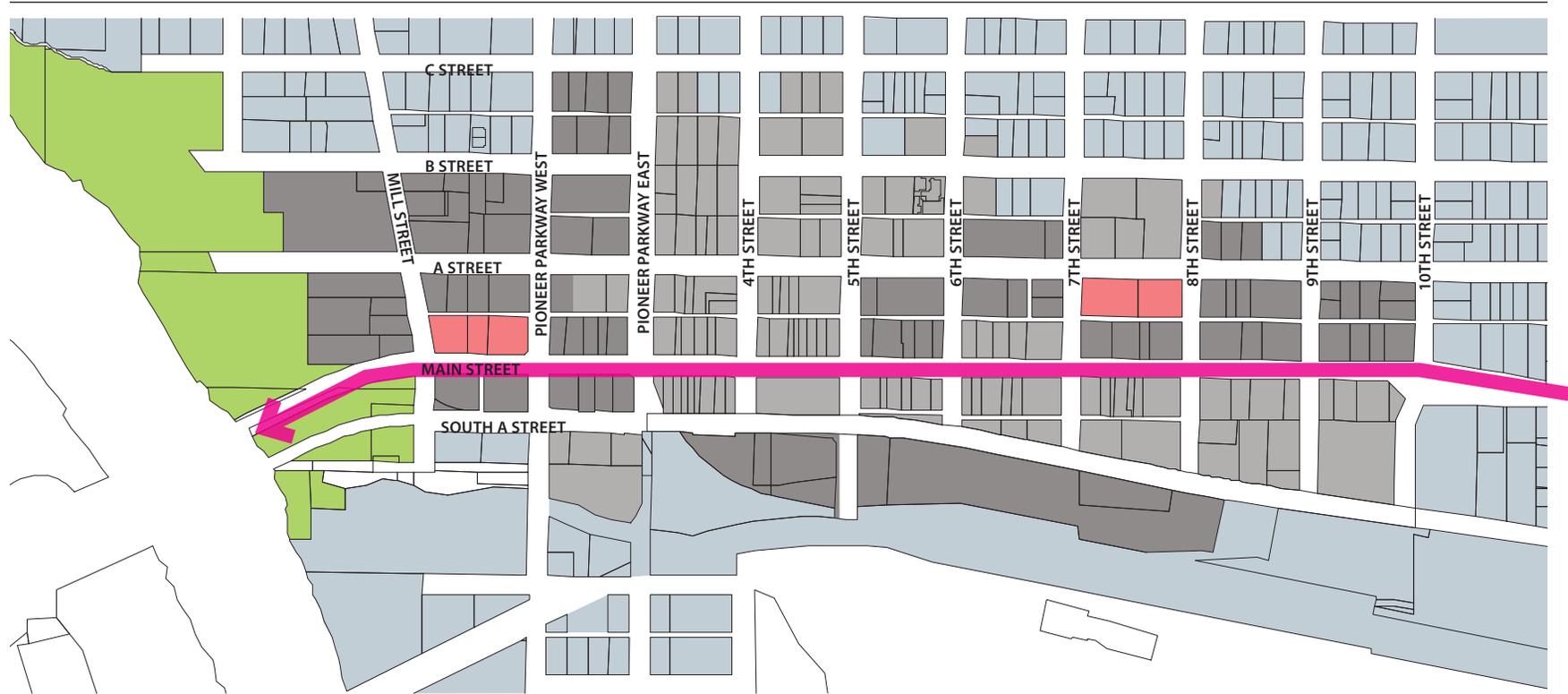
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Regulating Plan



05 October 2015



Springfield – Downtown District Urban Design Plan

Legend



Downtown Urban Zone



Downtown General Zone



Main Street Frontage

Development Standards Table for Building Siting and Massing

Building Siting and Massing Development Standards by Districts		
	Downtown Urban	Downtown General
Minimum Lot / Parcel Size	6,000 sq feet	2,500 sq feet
Lot / Parcel Coverage	No maximum	
Front Yard	See Street-facing Façade Requirements Table	
Side Yard	0 feet for first 18 feet 10 feet minimum above 18 feet	10 feet minimum
Rear Yard	10 feet, minimum	
Minimum Building or Podium Height	45 feet or 3 stories	25 feet
Maximum Building Height	90 feet	
Height of Required Stepback	45 feet	
Stepback	10 feet minimum from Build-to Line	

Development Standards for Historic District Compatibility

Historic District Compatibility Requirements Development Standards by Edge Condition			
	At Street-Facing Edge	At Alley-Facing Edge	Abutting Side Lot
Setback	See Building Site and Massing Requirements Table	10 feet minimum	10 feet minimum Additional setback of 10 feet maximum at 40 feet minimum distance from Build-to Line
Height of Required Stepback	See Building Site and Massing Requirements Table	35 feet minimum	25 feet minimum
Stepback	See Building Site and Massing Requirements Table	10 feet, minimum	30 feet from side lot line
Height of Additional Required Stepback	NA	65 feet, minimum	
Additional Stepback	NA	10 feet, minimum	

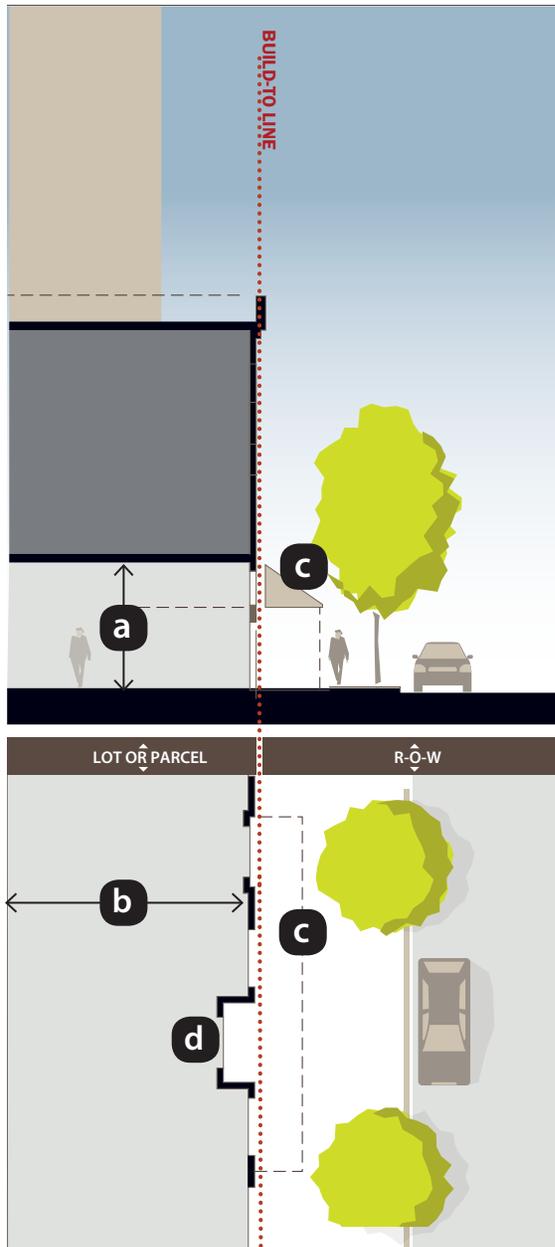
Development Standards for Street Facing Façade Requirements

Street-facing Façade Requirements Development Standards by Frontage			
	Frontage		
	Main Street and Urban Open Space	South A	All Other Streets
Required Building or Landscaped Frontage at Build-to Line	100%		
Building or Landscaped Frontages Permitted at Build-to Line	Urban Retail 1	Urban Retail 1 Urban Retail 2 Urban Residential Urban Landscape 1 Urban Landscape 2 Urban Landscape 3	

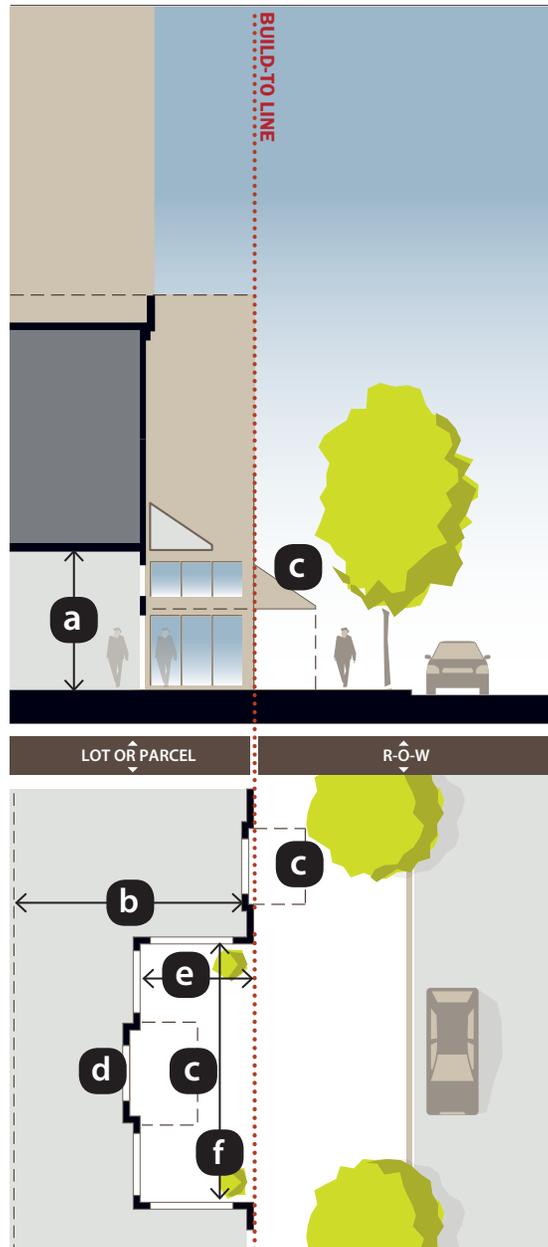
Frontage Requirements: Buildings

		Building Frontage Requirements Development Standards by Building Frontage Type		
		Urban Retail 1	Urban Retail 2	Urban Residential
a	Minimum Ground Floor Height	18 feet		NA
b	Minimum Ground Floor Depth	40 feet		NA
	Ground Floor Construction	1 hour fire resistive		NA
	Separation of Ground Floor Residential Uses	Vertical distance from ground: Minimum 18 inches; Maximum 3 feet Horizontal distance from Build To Line: Minimum 3 feet; Maximum 15 feet		
	Building Setback from Build-to Line	0 feet	See Forecourt Depth 0 feet for all building faces that are not part of the courtyard	Minimum 5 feet Maximum 15 feet
c	Weather Protection	Protected area: 50 square feet, minimum; 5 feet min. horizontal dimension; 10 foot vertical clearance, minimum		Protected area: 20 square feet, minimum; 5 feet minimum; horizontal dimension; 10 foot vertical clearance, minimum
d	Primary Entry Doors	Shall face street; 40% transparent minimum		Shall face street; 20% transparent minimum
	Windows	60% minimum		30% minimum
e	Forecourt Depth from Build-to Line	NA	Setback: 10 feet minimum; 30 feet maximum. Required Stepback shall match Forecourt maximum depth (See table xx)	NA
f	Forecourt Width	NA	Setback: 10 feet minimum; 30 feet maximum	
	Forecourt Frontage	The Forecourt Façade shall incorporate the Urban Retail 1 standards for one side of the forecourt and all building faces that are not part of the courtyard.		
g	Threshold Depth			Minimum 4 feet
h	Threshold Height Above Grade			Maximum 5 feet
i	Threshold Area			Maximum 150 square feet per building entry
	Fence	No greater than 3 feet in height; min. 20% transparent		

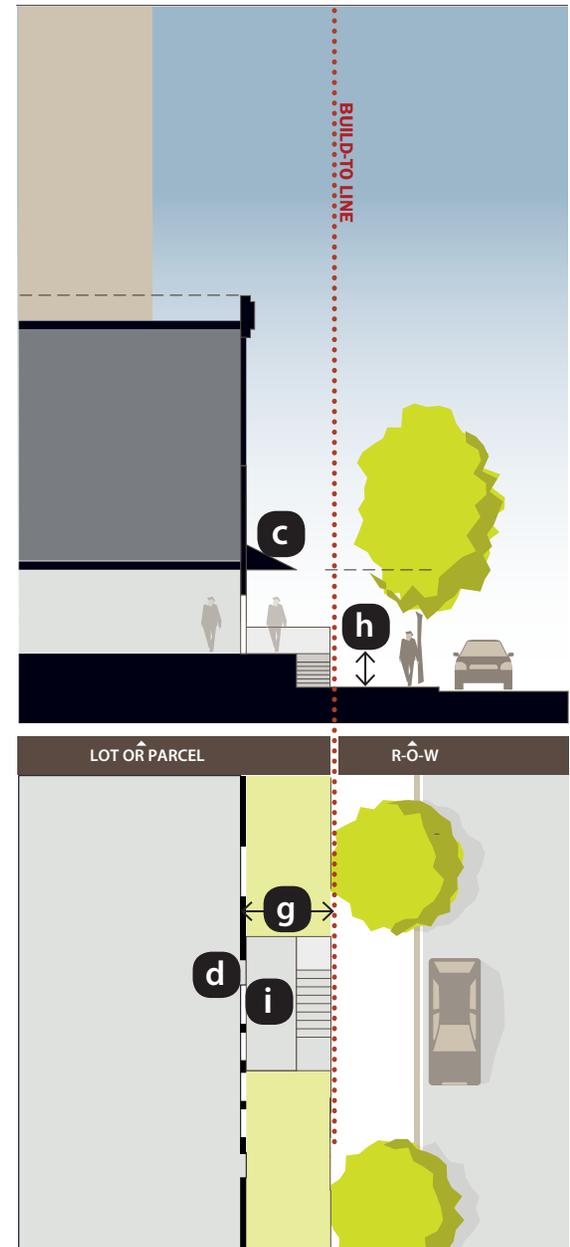
Urban Retail 1



Urban Retail 2



Urban Residential



Frontage Requirement: Landscaped Perimeter

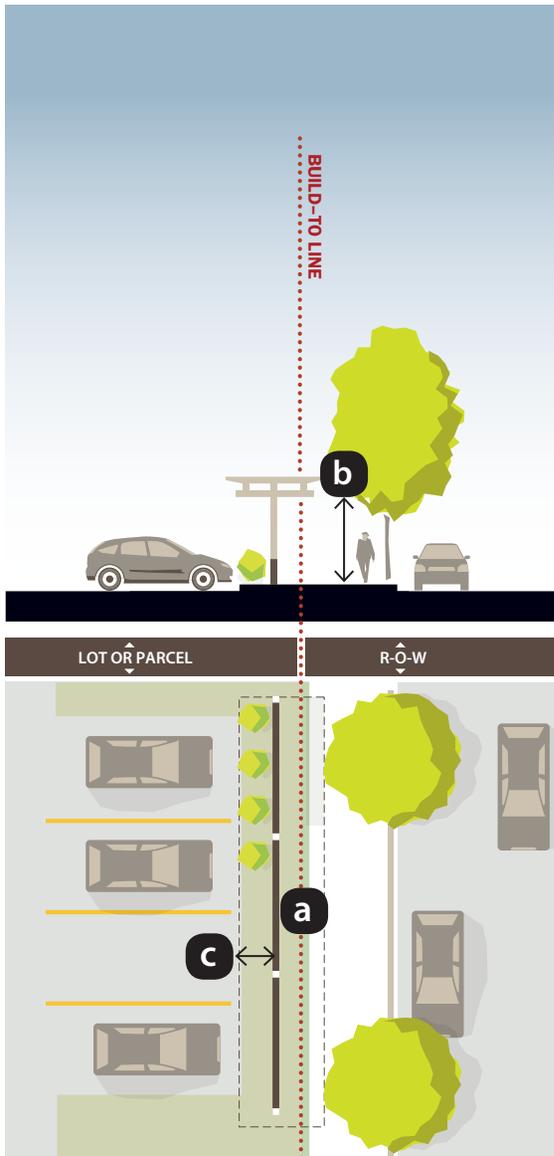
Perimeter Landscape Frontage Requirements | Development Standards by Landscape Frontage Type

	Urban Landscape 1	Urban Landscape 2	Urban Landscape 3
a Vertical Landscaping or Structure Setback from Build-to Line	5 feet maximum		
b Height of Structure or Planting	<p>The underside of the Trellis portion of a Low Wall and Trellis shall be a minimum of 8 feet above grade and a maximum of 14 feet above grade.</p> <p>The Low Wall portion of a Low Wall and Trellis shall be a minimum of 1.5 feet and a maximum of 3 feet and have a minimum depth of 1.5 feet.</p>	The fence or the wall shall be at least 2 feet high and no more than 3 feet high.	The shrubs shall be a minimum of 3 feet high. If a low wall is provided in place of shrubs it shall be a minimum of 3 feet high.
Materials	<p>The Trellis shall be heavy timber or steel (or a similar material) and shall consist of open structure with no decking or awning material.</p> <p>The Trellis shall have masonry, heavy timber, or steel (or similar metal) supporting columns spaced no more than 30 feet on center.</p> <p>The Low Wall shall be wood, masonry, and/or concrete.</p>	Walls shall be wood masonry, and/or concrete; fences shall be made of wrought iron, steel, or a similar material (but not chain-link) and must be dark in color. Fences may be no more than 50% sight obscuring.	<p>The surface parking area shall be screened with a continuous row of hedges or shrubs immediately adjacent to the parking area, except where there is a driveway. Shrubs must be mostly opaque year round.</p> <p>A low wall may be substituted for the shrubs but the trees and groundcover plants are still required.</p>
Openings	Openings in the Low Wall and Trellis are allowed for pedestrian pathways, sidewalks, plazas, and driveways.	Openings in the Urban Fence or Wall are allowed for pedestrian pathways, sidewalks, plazas, and driveways.	Openings in the Setback are allowed for pedestrian pathways, sidewalks, plazas, and driveways.
c Surface Parking setback	Surface Parking shall be set back a minimum of 3 feet from the Low Wall and Trellis.	The surface parking area shall be set back, at a minimum, an additional 5 feet to provide room for required landscaping and stormwater infiltration and/or retention.	10 feet minimum
d Tree Spacing		In addition to the required fence or wall, trees and shrubs shall be provided. One large tree is required every 30 linear feet minimum. The shrubs shall be at least as high as the wall or fence, and shall be no more than 6 feet high.	In addition to the required shrubs, one large tree is required every 30 linear feet. The shrubs/hedge shall be interrupted with a gap of up to 2 feet wide in order to accommodate trees.

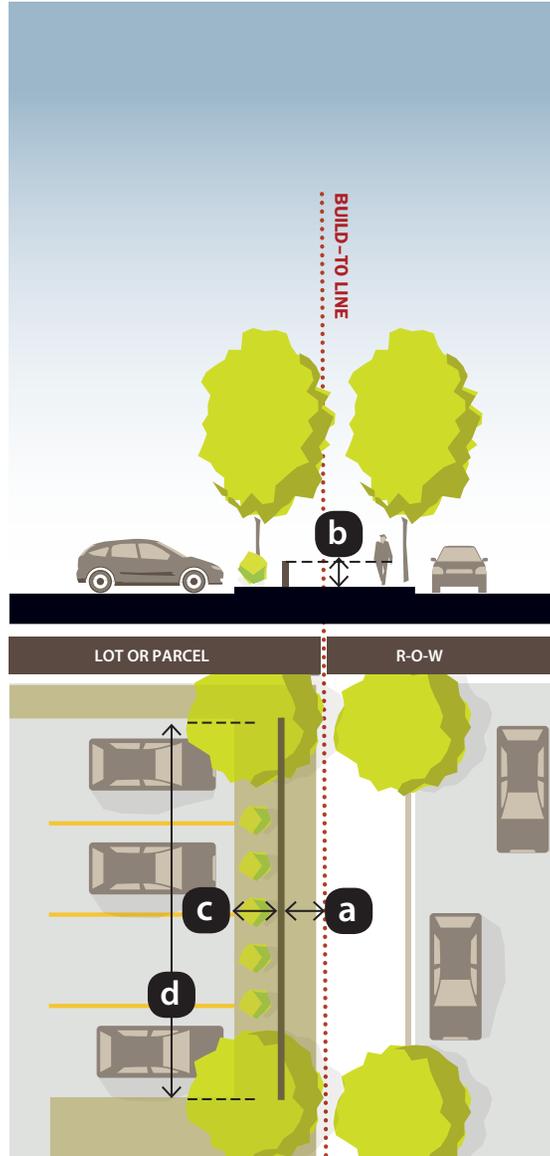
Frontage Requirement: Landscaped Perimeter, continued

	Urban Landscape 1	Urban Landscape 2	Urban Landscape 3
Ground Cover and Planting	<p>The area between the Build-to Line and the Trellis shall be hardscaped with either masonry pavers or stamped concrete.</p> <p>The setback between the Low Wall and surface parking shall be planted with low shrubs, groundcover, and climbing plants.</p>	<p>The area between the Build-to Line and the Urban Fence or Wall shall be hardscaped with either masonry pavers or stamped concrete.</p> <p>Ground cover plants must fully cover any remaining landscaped area between the parking area and the Urban Fence or Wall.</p>	<p>Ground cover plants must fully cover any remaining landscaped area between the parking area and the Urban Fence or Wall.</p>

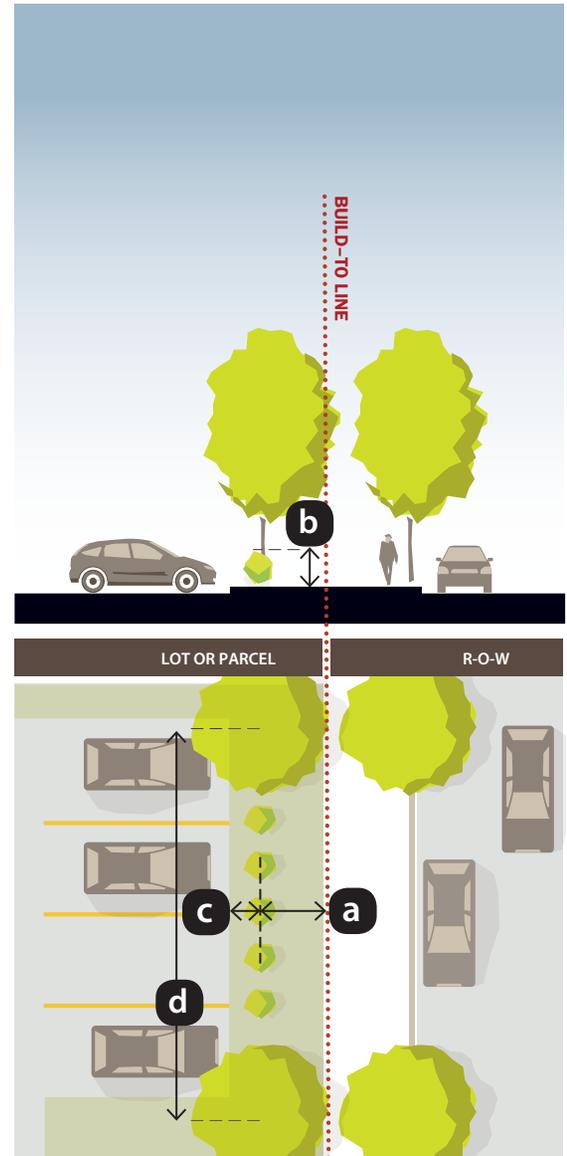
Urban Landscape 1



Urban Landscape 2



Urban Landscape 3



Façade Articulation Requirements

New Construction or Infill Standards	
Window Transparency	Ground level facades must be 60% transparent or greater on Main Street. Corner lots must wrap this transparency 25 feet onto the side street.
Ground Floor height	16 feet minimum
Window Height	Distance between bottom of window and ground shall be a minimum of 18 inches and a maximum of 24 inches.
Roof Form	Roof line matches the historic downtown context with a flat roof and parapet.
Articulated Building Top	Define the top edge of the building with a cornice line or similar articulation. This line should be a minimum of 6 inches high and a minimum 3 inches beyond the face of the façade.
Articulated First Floor	Differentiate the first floor from the floors above in one of the following ways: Material, color, molding or other surface treatment. Consider the adjacent building's style/color/height.
Alignment with Adjacent buildings	Where possible, align cornice lines, window sills and heads with those of the adjacent buildings.
Weather Protection	<p>Building shall provide weather protection in one of the two following ways:</p> <p>Recessed Entrance: Minimum depth: 4 feet. Maximum depth: 10 feet. Minimum width: 8 feet. No maximum width. Minimum height at recessed entrance: 10 feet. Additional lighting in recessed entry is required.</p> <p>Canopy or Awning: Canvas (retractable or fixed) or fixed metal are acceptable styles. They shall be either flat or a simple shed form. Minimum depth: 4 feet. Minimum width: 8 feet. Minimum height at lowest point: 10 feet. If only one canopy is provided, then the canopy must be located at the primary entrance.</p>



Façade Articulation Requirements, continued

New Construction or Infill – Other Considerations

Transom Windows – Transom windows bring in natural light and reinforce the historical character of Springfield’s downtown. They should be located above the awning/canopy line and align with adjacent transom windows where possible.

Pedestrian-scaled signs – Blade signs that are mounted perpendicular to the façade or appropriately scaled signs in windows give pedestrians informative and pleasant sidewalk experiences.

Large Windows – Consider large storefront windows that maximize transparency and are inviting to pedestrians.



Façade Improvements

The preservation and enhancement of downtown Springfield’s historic buildings, streetscape and architectural features; the incorporation of art and craft elements into façade designs, and materials and colors that are consistent with existing building language.

Exterior Materials	<p>When repairing existing brick and mortar, match existing brick.</p> <p>Preserve and restore all original materials (such as stucco, metal, terra cotta, ceramic tiles, colored glass, enameled metal or concrete) and paint all wood.</p> <p>Maintain historic detailing where possible.</p> <p>Plastic, bright unfinished metal, unpainted wood, false stone materials are not permitted.</p>
Windows and Doors	<p>Maintain historic storefront, such as recessed entry, paired doors, plate glass display windows and transoms where possible.</p> <p>Reflective glass is not permitted.</p>
Storefront and Window Displays	<p>Preserve original fenestration.</p> <p>Increase transparency to interior: windows should be fully transparent (ornamental, opaque and mirrored glass not allowed except in transom window).</p> <p>Blocking windows with signage is not permitted.</p> <p>Painted window signs are acceptable but should not block visibility</p> <p>Window displays that enhance the identity of downtown Springfield is encouraged over generic and chain store type displays.</p>
Integration of the Arts	<p>Encourage façade/ awning art murals, custom fabricated signs, light fixtures, ceramic/mosaic works, custom artistic planters.</p> <p>Integrate art elements into the building’s façade.</p>
Planters and Window Boxes	<p>Cohesive language of planters that are carefully designed/installed/maintained. Use appropriate sizes that do not block or dominate the façade.</p>
Color	<p>Avoid use of intense colors and quantity of vivid colors; color should relate to adjacencies.</p> <p>Provide color sample to design review committee.</p>

Facade Improvements, continued

<p>Signage</p>	<p>Sign style, material, color should be compatible with building.</p> <p>Consider scale of sign to building and avoid concealing architectural details with oversized signage.</p> <p>Select exterior illumination quality close to incandescent light.</p> <p>Blade signs located to be visible to pedestrians are required.</p> <p>Custom decal lettering acceptable (consider scale and transparency).</p> <p>Restore historic signs where possible.</p> <p>Commercial signs shall be flush mounted on the sign band above the transom, painted on the window, or hanging on the front of the building or awning.</p> <p>Where multiple signs exist for one building, signs should relate to each other in style, size, color, placement and lettering type</p> <p>Neon, flashing, window signs that block visibility, or are internally illuminated, or backlit plastic sign boxes, or hand-written signs are discouraged.</p>
<p>Sign Illumination</p>	<p>Externally lit signs are preferred, such as those with gooseneck fixtures.</p> <p>Individual fixtures should not be too close together (3-4 feet) to avoid overlapping light/shadow.</p> <p>Bare spotlights are discouraged.</p>
<p>Awnings</p>	<p>Use durable materials, like metal, glass, canvas or wood.</p> <p>Awnings on the same buildings consistent in size, profile, and location</p> <p>Under-awning lighting encouraged</p> <p>Signage on valance of awning</p> <p>Retractable and fixed type acceptable</p> <p>Use historic style consistent with the building, where possible</p> <p>Color/pattern should harmonize with building</p> <p>Vinyl, plastic, excessive signage, concealing architectural details with oversized awnings is discouraged.</p> <p>A permit required from City of Springfield.</p>

Façade Improvements, continued

<p>Façade Illumination</p>	<p>Exterior lights shall highlight building elements (signs or distinctive features) or be downward facing, providing indirect lighting whenever possible.</p> <p>Building lighting shall provide an even illumination level.</p> <p>Use shatterproof coverings for low level lights.</p> <p>Energy efficient lighting is encouraged, such as LED.</p> <p>Flashing lights are discouraged.</p> <p>Replace non-functioning bulbs promptly.</p>
<p>Alterations and Additions</p>	<p>Avoid creating falsely historical looks.</p>
<p>New Construction or Infill</p>	<p>Use flat roof with a parapet</p> <p>Emphasize cornice with simple contemporary design.</p> <p>Incorporate architectural characteristics of the commercial building type into the design. Use the elements of the storefront, including a recessed entry, transoms, and display windows over kick plates, in a simple contemporary design.</p>

Downtown Urban Open Space Typology

Plaza

An Open Space available for civic purposes and commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Plazas should be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.

Example: Mill Plaza

Located on the north side of Main Street between Mill Street and Pioneer Parkway West, Mill Plaza is the most urban plaza type. This plaza will be a central gathering space and retail hub of Springfield's downtown. It should be densely developed along its perimeter, helping to create an active edge that reinforces the plaza as a destination spot and gathering area for the community. Mill Plaza has an urban character with a large amount of hardscaping. Other characteristics of this plaza include flexible programming that accommodates both everyday uses as well as special events, public art that creates a focal point, and a retail pavilion

with amenities such as restrooms, bicycle parking and outdoor café seating. In addition, the area should have street trees and other landscaping that make it inviting while managing stormwater on-site. Lighting and ample street furniture help make a comfortable and safe place to relax and socialize.



Downtown Urban Open Space Typology, continued

Square

An urban open space available for unstructured recreation and civic purposes. It is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, and shall be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.

Example: Residential Post Office Park

Located on the south side of A Street, between 7th and 8th Streets. This one-acre park has a more residential character while still maintaining some urban characteristics. Because of its size and placement, it can accommodate high-density housing on adjacent blocks as well as serve the historic Washburne District to the north. It is made up primarily of planted areas, with lawn, trees and other landscaping as the predominant features. It should have paved walkways throughout that allow pedestrians and cyclists easy access through and around it. Other features of this park include an assembly area for community events (such as music in the park), a fountain or other public art, play structures, ample well-placed street furnishings such as benches, waste receptacles and pedestrian-scaled lighting.

Pocket Park

These are small-scale parks that have not yet been located. They are a vital part of the future network of public spaces in the city. Because they are smaller in scale, and may only be the size of a single lot, their programming is more focused and their scale more intimate. They provide community gathering space for people to socialize, exercise, relax and play. They are primarily made up of lawn, trees, and landscaping with paved pathways throughout. While they share similar features to the Post Office Park, what sets them apart is their size. Street furnishings such as benches, waste receptacles and lighting are essential to creating a welcoming and safe space. Additionally, they may have play structures or other small recreation zones such as basketball courts skate parks or picnic shelters. Though small, they can be vibrant and essential assets to the community, used and valued at all hours of the day and night.

Forecourt

Located in the frontage zone of the Forecourt Frontage Type building, these are privately owned areas that contribute to the public realm. They increase the depth of the sidewalk, creating informal places to spill onto. They may be the same paving material as the sidewalk or might use a different paving to characterize and distinguish the plaza as a separate zone. These areas are largely hardscaped and serve as ideal places for providing tables and chairs for pedestrians to eat, socialize and linger. These small plazas should have ample street furnishings such as benches, bicycle parking and waste receptacles. Forecourts may also have structured planted areas and moveable furniture. They provide an important amenity to pedestrians, particularly along dense retail areas where there is a large concentration of people dining, shopping and socializing.

Downtown Urban Open Space Typology, continued

Mill Plaza	
Location	Located on the north side of Main Street between Mill Street and Pioneer Parkway West
Placement Requirements	Ground floor retail for any building adjacent to the plaza.
Dimension Requirements	Perimeter of 860 feet.
Design Considerations	<p>Easy pedestrian access</p> <p>Slow-moving traffic</p> <p>Well marked, pedestrian timed crosswalks</p> <p>Adaptable by season, consider ways to make it functional in the winter</p> <p>Plaza is visible from a distance for pedestrians and cyclists</p> <p>Permanent and moveable furnishings</p> <p>Retail pavilion</p> <p>Restrooms</p> <p>Café seating</p> <p>Public art that creates focal point</p> <p>Consider multiple zones of activity within the plaza</p> <p>On site storage for moveable furniture</p>
Management and Programming	<p>Successful management creates a sense of comfort and safety with regular maintenance of receptacles, pavement, and landscaping.</p> <p>Flexible programming that accommodates everyday uses as well as larger special events.</p> <p>Consider ways to make it appealing year-round</p>

Downtown Urban Open Space Typology, continued

Post Office Park	
Location	Located on the south side of A Street, between 7 th and 8 th Streets
Placement Requirements	High density residential uses are best adjacent to park as well as mixed use commercial
Dimension Requirements	120 feet x 320 feet
Design Considerations	<ul style="list-style-type: none"> Easy pedestrian access Slow-moving traffic Well marked, pedestrian timed crosswalks Visible at a distance Picnic shelter Community garden Play structures Open field/ lawn Public art Assembly area Restrooms Street furnishings Well lit for safe use day and night
Management and Programming	Adaptable by season, consider ways to make it functional in the winter

Downtown Urban Open Space Typology, continued

Pocket Park	
Location	Variable. Consider ease of pedestrian accessibility. Surrounding streets should be lower speeds, narrower and more walkable.
Placement Requirements	Lot next to residential or commercial development. Consider scale of adjacent buildings so that pocket park has access to good light.
Dimension Requirements	Variable, the size of a typical lot (approx. ¼ acre)
Design Considerations	<p>Benches and tables, consider moveable seating</p> <p>Community garden</p> <p>Paved walkways</p> <p>Skate park</p> <p>Play structures</p> <p>Open field/lawn</p> <p>Water feature</p> <p>Places of sun and shade</p> <p>Picnic pavilion</p> <p>Ample street furnishings (including bicycle parking, waste receptacles, drinking fountain, lights)</p> <p>Pedestrian-scaled lighting</p> <p>Trees/plantings/structured landscaping</p> <p>Recreational areas (such as basketball court)</p>
Management and Programming	<p>Successful management creates a sense of comfort and safety with regular maintenance of receptacles, pavement, and landscaping.</p> <p>Consider ways to make it appealing year-round</p>

Downtown Urban Open Space Typology, continued

Forecourt	
Location	Located in the frontage zone of the Forecourt Frontage Type
Placement Requirements	Adjacent to ground floor commercial / retail use
Dimension Requirements	Depth from Build-to Line of 10 feet minimum; 30 feet maximum / width of 10 feet minimum, 30 feet maximum
Design Considerations	<p>Primarily hardscaped area</p> <p>Incorporation of landscaping: planters, bioswales and trees</p> <p>Use bollards, planters or street lamps to clearly define the forecourt area from the pedestrian through zone.</p> <p>Use of different paving to clearly define the forecourt area from the pedestrian through zone.</p> <p>Additional lighting / different lighting from typical sidewalk lighting</p> <p>Incorporate both moveable and permanent furniture</p>
Management and Programming	<p>Consider ways to make it appealing year-round</p> <p>Fronting property owners are responsible for the maintenance and general upkeep of the forecourt area</p>

