



# Planning Commission Agenda

**Development and Public Works Director,**  
Anette Spickard, 541-726-3697  
**Current Development Manager:**  
Greg Mott 541-726-3774  
**Management Specialist:**  
Brenda Jones 541.726.3610

City Hall  
225 Fifth Street  
Springfield, Oregon 97477  
541.726.3610  
Online at [www.springfield-or.gov](http://www.springfield-or.gov)

**Planning Commissioners:**

Nick Nelson, Chair  
Greg James, Vice-Chair  
Steve Moe  
Sean Dunn  
Michael Koivula  
Andrew Landen  
Tim Vohs

---

The meeting location is wheelchair-accessible. For the hearing-impaired, an interpreter can be provided with 48 hours' notice prior to the meeting. For meetings in the Council Meeting Room, a "Personal PA Receiver" for the hearing impaired is available. To arrange for these services, call 541.726.3610.

**Meetings will end prior to 10:00 p.m. unless extended by a vote of the Planning Commission.**

All proceedings before the Planning Commission are recorded.

**April 19, 2016**

---

**7:00 p.m. Regular Session  
Council Chambers**

---

**CONVENE AND CALL TO ORDER THE REGULAR SESSION OF THE SPRINGFIELD PLANNING COMMISSION**

**ATTENDANCE:** Chair Nelson \_\_\_\_\_, Vice Chair James \_\_\_\_\_, Moe \_\_\_\_, Dunn \_\_\_\_\_,  
Koivula \_\_\_\_\_, Landen \_\_\_\_\_, Vohs \_\_\_\_\_.

**ABSENT:** Nick Nelson- Excused

**PLEDGE OF ALLEGIANCE**

**ADJUSTMENTS TO THE REGULAR SESSION AGENDA**

In response to a request by a member of the Planning Commission, staff or applicant; by consensus

**BUSINESS FROM THE AUDIENCE**

Testimony is limited to 3 minutes; testimony may not discuss or otherwise address public hearings appearing on this Regular Session Agenda

PUBLIC HEARING(S)

**QUASI-JUDICIAL PUBLIC HEARING –**

**Discretionary Use - Request Discretionary Use Approval Steven Wages, Springfield Utility Board,**  
**Applicant: TYP316-00001**

**Staff: Andy Limbird**  
**30 Minutes**

**CONDUCT OF QUASI-JUDICIAL PUBLIC HEARING BEFORE THE PLANNING COMMISSION**

- Staff explanation of quasi-judicial hearing process (ORS 197.763)
- Chair opens the public hearing
- Commission members declaration of potential conflicts of interest; disclosure of “ex-parte” contact
- Staff report
- Testimony from the applicant
- Testimony in support of the application
- Testimony opposed to the application
- Testimony neither in support of nor opposed to the application
- Summation by staff
- Rebuttal from the applicant
- Consideration of request for continuation of public hearing, extension of written record, or both
- Close or continue public hearing; close or extend written record (continuance or extension by motion)
- Planning Commission discussion; possible questions to staff or public
- Motion to approve, approve with conditions, or deny the application based on the information contained in the staff report, oral and written testimony, and all other evidence submitted into the record
- Final Order signed by Chair incorporating findings and reasoning to support the decision

REPORT OF COUNCIL ACTION

BUSINESS FROM THE PLANNING COMMISSION

- Upcoming Planning Commission meetings, committee assignments, appointments or other business

BUSINESS FROM THE DEVELOPMENT AND PUBLIC WORKS DIRECTOR

ADJOURN REGULAR SESSION OF THE SPRINGFIELD PLANNING COMMISSION

---

**AGENDA ITEM SUMMARY**

**Meeting Date:** April 19, 2016  
**Meeting Type:** Regular Meeting  
**Staff Contact/Dept.:** Andy Limbird/DPW  
**Staff Phone No:** 726-3784  
**Estimated Time:** 20 Minutes

**SPRINGFIELD  
PLANNING COMMISSION**

---

**ITEM TITLE:** REQUEST FOR DISCRETIONARY USE APPROVAL – STEVEN WAGES,  
SPRINGFIELD UTILITY BOARD, APPLICANT

---

**ACTION  
REQUESTED:** Planning Commission approval of a Discretionary Use request (TYP316-00001).

---

**ISSUE  
STATEMENT:** The Planning Commission is requested to conduct a public hearing and decide whether or not to approve a Discretionary Use request for a high impact public utility facility on the western edge of the Mountaingate neighborhood in southeast Springfield. The applicant is proposing to construct a new pump station building and water pipeline connection on the site. In accordance with SDC 3.2-210 and 4.7-160, high impact public utility facilities not designated on the Metro Plan's *Public Facilities and Services Plan* require Discretionary Use approval.

---

**ATTACHMENTS:** Attachment 1: Staff Report and Findings for Discretionary Use  
Attachment 2: Staff Report and Recommended Conditions for Site Plan Review  
Attachment 3: Applicant's Discretionary Use Request  
Attachment 4: Applicant's Site Plan Review Application  
Attachment 5: Tentative Site Plans  
Attachment 6: PC Final Order – Discretionary Use Request  
Attachment 7: PC Final Order – Site Plan Review

---

**DISCUSSION:** The applicant is requesting the Discretionary Use for an existing water utility installation on the western edge of the Mountaingate neighborhood. The proposed development site is a wooded hillside that contains two existing water reservoir tanks within a fenced compound and a gravel access driveway from Mountaingate Drive. The site is comprised of three contiguous tax lots and is not currently assigned a municipal address (Map 18-02-03-00, Tax Lots 800 & 801; and Map 18-02-04-11, Tax Lot 10900). The proposed development site is zoned Low Density Residential (LDR) in accordance with the Springfield Zoning Map and is designated LDR in accordance with the adopted *Metro Plan* diagram. In conjunction with the Discretionary Use request the applicant is proposing to construct an 800 ft<sup>2</sup> pump station building with a new water pipeline connection to the public system in Mountaingate Drive. The applicant is also proposing to realign the access driveway to the site, which will require regrading and tree removal on the hillside. The proposed utility installation work is detailed in a Site Plan Review application submitted for review under separate cover (Case TYP216-00014), contingent upon approval of the subject Discretionary Use request. The applicant has also submitted a Hillside Development Overlay (Case TYP216-00015) and Tree Felling Permit (Case TYP216-00016) under separate cover in support of the proposed project. Issuance of the Hillside Development Overlay and Tree Felling permits would be dependent upon approval of the Discretionary Use request and accompanying Site Plan.

Staff concludes that this request, as determined in the findings of fact in the attached staff report, complies with the Discretionary Use criteria of approval listed in SDC 5.9-120. Such findings, determinations and recommendations are provided to the Planning Commission in support of a decision to approve this Discretionary Use application.

---



**Staff Report and Findings  
Springfield Planning Commission  
Discretionary Use Request (Springfield Utility Board)**

**Hearing Date: April 19, 2016**

**Case Number: TYP316-00001**

**Applicant: Steven Wages, Springfield Utility Board**

**Site: Not Municipally Addressed – Adjacent to South 58<sup>th</sup> Street and Mountaingate Drive (Map 18-02-03-00, Tax Lots 800 & 801; and Map 18-02-04-11, Tax Lot 10900)**

**Request**

The application was submitted on February 26, 2016 and the public hearing on the matter of the Discretionary Use request is scheduled for April 19, 2016. The City conducted a Development Review Committee meeting on the Discretionary Use request on March 15, 2016.

**Site Information/Background**

The property that is subject of the Discretionary Use request is located on a wooded hillside along the western edge of the Mountaingate neighborhood in southeast Springfield. The total site area is approximately 9.3 acres and includes two existing water reservoir tanks within a fenced compound and gated gravel access driveway. According to the applicant's submittal a total of approximately two acres of the site will be affected by the proposed project.

The site has frontage on Mountaingate Drive, which is classified as a minor collector street under the City's street classification system. The applicant has submitted a Site Plan Review application under separate cover (Case TYP216-00014) for a new pump station building, water pipeline connection to the public system in Mountaingate Drive, and realigned access driveway with emergency turnaround area.

**Notification and Written Comments**

Notification of the April 19, 2016 public hearing was sent to all property owners and residents within 300 feet of the site on March 30, 2016. Notification was also published in the legal notices section of *The Register Guard* on April 11, 2016.

Public notification was also sent to all property owners and residents within 300 feet of the site on March 8, 2016 for the companion Site Plan Review application submitted under separate cover (Case TYP216-00014).

**Criteria of Approval**

Section 5.9-100 of the SDC contains the criteria of approval for the decision maker to utilize during review of Discretionary Use requests. The Criteria of Discretionary Use approval are:

*SDC 5.9-120 CRITERIA*

A. *The proposed use conforms with applicable:*

1. *Provisions of the Metro Plan;*

*Photo 1 – Site Air Photo*



*Photo 2 – Site View #1*



*Photo 3 – Site View #2*



*Photo 4 – Gravel Driveway Leading Up To Site*



2. *Refinement plans;*
  3. *Plan District standards;*
  4. *Conceptual Development Plans or*
  5. *Specific Development Standards in this Code;*
- B. *The site under consideration is suitable for the proposed use, considering:*
1. *The location, size, design and operating characteristics of the use (operating characteristics include but are not limited to parking, traffic, noise, vibration, emissions, light, glare, odor, dust, visibility, safety, and aesthetic considerations, where applicable);*
  2. *Adequate and safe circulation exists for vehicular access to and from the proposed site, and on-site circulation and emergency response as well as pedestrian, bicycle and transit circulation;*
  3. *The natural and physical features of the site, including but not limited to, riparian areas, regulated wetlands, natural stormwater management/drainage areas and wooded areas shall be adequately considered in the project design; and*
  4. *Adequate public facilities and services are available, including but not limited to, utilities, streets, storm drainage facilities, sanitary sewer and other public infrastructure.*
- C. *Any adverse effects of the proposed use on adjacent properties and on the public can be mitigated through the:*
1. *Application of other Code standards (including, but not limited to: buffering from less intensive uses and increased setbacks);*
  2. *Site Plan Review approval conditions, where applicable;*
  3. *Other approval conditions that may be required by the Approval Authority; and/or*
  4. *A proposal by the applicant that meets or exceeds the cited Code standards and/or approval conditions.*
- D. *Applicable Discretionary Use criteria in other Sections of this Code:*
1. *Wireless telecommunications systems facilities requiring Discretionary Use approval are exempt from Subsections A-C above, but shall comply with the approval criteria specified in Section 4.3-145.*
  2. *Alternative design standards for multifamily development are exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 3.2-245*
  3. *Fences requiring Discretionary Use approval are exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 4.4-115.C.*

4. *The siting of public elementary, middle and high schools requiring Discretionary Use approval is exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 4.7-195.*

### **Proposed Findings In Support of Discretionary Use Approval**

#### **Criterion: Discretionary Use criteria of approval:**

##### **A. The proposed use conforms with applicable;**

###### **1. Provisions of the *Metro Plan*;**

Finding: The subject property is currently zoned and designated Low Density Residential (LDR) in accordance with the Springfield Zoning Map and the adopted *Metro Plan* diagram. The applicant is not proposing to change the current zoning or designation for the subject site.

Conclusion: The request meets this criterion.

###### **2. Refinement plans;**

Finding: The subject site is not within an adopted Refinement Plan area.

Finding: The proposed pump station is not shown or described in the adopted *Public Facilities and Services Plan* (PFSP), which is a refinement plan of the *Metro Plan*. Under the provisions of the City's Development Code (Section 4.7-160), high impact public facilities that are not shown on the adopted PFSP can be approved in accordance with Discretionary Use procedure.

Finding: Staff advises that because the subject pump station is not described in the PFSP maps and text it will need to be added as a completed water system project after-the-fact. As a result, an update to the text and diagrams within the PSFP will require a Type IV Metro Plan Amendment that is adopted by the City and, where necessary, co-adopted by Lane County.

#### **RECOMMENDED CONDITION OF APPROVAL:**

- 1. The applicant shall prepare and submit a Type IV Metro Plan Amendment to add the completed water system project to the *Public Facilities and Services Plan* within one calendar year of project completion and commencement of operations.**

Conclusion: As conditioned herein, the request meets this criterion.

###### **3. Plan District standards;**

Finding: As stated above, for high impact utility facilities in the LDR District that are not shown on the adopted *Public Facilities and Services Plan*, a Discretionary Use permit is also required.

Finding: To address the land use approval requirements for a high impact public utility facility in the LDR District, the applicant has submitted for Discretionary Use approval. A Type II Site Plan Review application also has been submitted under separate cover (TYP216-00014), and is subject to review and approval by the Planning Commission pending the determination of this Discretionary Use permit.

Conclusion: The request meets this criterion.

#### **4. Conceptual Development Plans or**

Finding: There is no specific Conceptual Development Plan for this area of Springfield. Therefore, the *Metro Plan* diagram remains the prevailing land use plan diagram for this site.

Conclusion: This criterion is not applicable.

#### **5. Specific Development Standards in this Code;**

Finding: Should the Planning Commission approve this Discretionary Use request, the applicant will need to obtain approval for the Site Plan Review submitted under separate cover (Case TYP216-00014). Staff advises that specific development standards for the Low Density Residential District (SDC 3.2-215) and High Impact Public Facilities (SDC 4.7-160) will need to be addressed through the Site Plan Review approval.

Conclusion: The proposal meets this criterion.

### **B. The site under consideration is suitable for the proposed use, considering:**

#### **1. The location, size, design and operating characteristics of the use (operating characteristics include but are not limited to parking, traffic, noise, vibration, emissions, light, glare, odor, dust, visibility, safety, and aesthetic considerations, where applicable);**

Finding: The property requested for Discretionary Use approval is three contiguous tax lots that comprise approximately 9.5 acres in total site area. The site is a wooded hillside on the west edge of the Mountaingate neighborhood that contains two existing water reservoir tanks within a fenced compound. Approximately two acres of the property are subject to the proposed development, which includes an 800 ft<sup>2</sup> pump station building, new water pipeline connection to the public system in Mountaingate Drive, realigned access driveway, and slope contouring on the uphill side of the project area. The size of the property, available area for installing the water utility system improvements, and its location adjacent to a developed urban street system and utility network should adequately accommodate the proposed use.

Finding: The property requested for Discretionary Use approval is zoned and designated LDR. The site is elevated above the adjacent neighborhood to the west to aid in provision of gravity flow potable water to the City's public utility system.

Finding: Staff conducted a site visit to the existing facility on January 28, 2015. Staff observes that the existing utility facility sits on a densely wooded hillside and is not visible

from Mountaingate Drive. The applicant is proposing to remove a number of mature trees from the site to accommodate project improvements, including: driveway widening, realignment, and installation of a roadside stormwater drainage swale; construction of an 800 ft<sup>2</sup> pump station building; installation of a water pipeline from the pump station to a connection point in Mountaingate Drive; and slope regrading uphill of the project area. The applicant is proposing to replant native trees within the project area to re-establish tree cover on the hillside and screen the utility installation from nearby residential land uses.

Finding: Constructing and operating a major water utility installation on the site is not expected to create a prolonged, significant adverse impact to the neighborhood, such as glare, dust, noise, emissions or vibrations. It is expected there would be daytime noise and activity during construction of the facility. Construction activities will need to be scheduled in accordance with City codes and permits that are required for the project.

Finding: The site is designed and intended to operate independently, without the need for continuous on-site operation and monitoring. Once construction is completed, it is expected that traffic to and from the site will be minimal and infrequent. The site is proposed to have an operating pump station with security lights that are shielded and downcast to prevent light glare and trespass. Site access, lighting, screening, and other design considerations will be reviewed in conjunction with the Site Plan Review submitted under separate cover (Case TYP216-00014).

Conclusion: As described herein and in the Site Plan Review submitted for approval under separate cover (Case TYP216-00014) the proposal meets this criterion.

**2. Adequate and safe circulation exists for vehicular access to and from the proposed site, and on-site circulation and emergency response as well as pedestrian, bicycle and transit circulation;**

Finding: The site has frontage on Mountaingate Drive, which is classified as a minor collector street under the City's road classification system. The street provides suitable access to the site for initial construction, and ongoing maintenance and operation of the facility.

Finding: The applicant is proposing to replace an existing, non-standard driveway curb cut and install a new commercial driveway approach from Mountaingate Drive to serve the site. The driveway is proposed to be realigned and widened to allow for construction, maintenance and emergency access to the project area.

Finding: A sidewalk connection has not been completed along the property frontage on Mountaingate Drive. The applicant is proposing to complete the curbside sidewalk along the frontage of Tax Lot 10900 from its current terminus at or near the southeastern property boundary to the northwestern property boundary. To avoid creating a gap in the public sidewalk, staff observes that the proposed curbside sidewalk will need to extend past the northwestern property boundary to a connection point along the frontage of 777 South 58<sup>th</sup> Street.

Finding: The site is somewhat removed from the public transit system. However, regular and frequent Lane Transit District bus service is available at the Thurston Transit Station,

approximately one-half mile (linear walking distance) north of the proposed development site.

**RECOMMENDED CONDITION OF APPROVAL:**

- 2. The curbside sidewalk along the Mountaingate Drive frontage of the site shall be extended approximately 120 feet past the northwestern property boundary to a connection point with the existing sidewalk along the frontage of 777 South 58<sup>th</sup> Street.**

Conclusion: As conditioned herein, the proposal meets this criterion.

- 3. The natural and physical features of the site, including but not limited to, riparian areas, regulated wetlands, natural stormwater management/drainage areas and wooded areas shall be adequately considered in the project design; and**

Finding: There are no wetlands or riparian areas on the site that warrant special protection measures. However, there are mature coniferous and deciduous trees within the hillside project area, which is proposed for slope contouring and regrading to accommodate the realigned access driveway, roadside drainage swale, pump station building, and new water pipeline. The applicant has submitted a Hillside Development Overlay District Permit and Tree Felling Permit under separate cover (Cases TYP216-00015 and TYP216-00016) for removal of qualifying site and hillside trees prior to site development. Construction of the proposed project is contingent upon approval of the subject Discretionary Use request along with approval of the Site Plan Review submittal (TYP216-00014) and accompanying Hillside Development Overlay District and Tree Felling permits.

Conclusion: As described herein and in the Site Plan Review, Hillside Development Overlay District and Tree Felling Permits submitted under separate cover (Cases TYP216-00014, TYP216-00015 and TYP216-00016) the proposal meets this criterion.

- 4. Adequate public facilities and services are available, including but not limited to, utilities, streets, storm drainage facilities, sanitary sewer and other public infrastructure.**

Finding: The site is inside the Springfield City limits and all urban utilities are available along the site frontage or nearby. The site functions as a utility installation and provider of potable water to the City's public utility system. There are no continuously occupied buildings located on the site, and there are no existing or proposed connections to the sanitary sewer system. Therefore, electricity is the only external utility service required for the site. The applicant is proposing to manage the stormwater on the site and to direct excess runoff from the driveway to a roadside drainage swale.

Finding: The property has frontage on a fully developed public street. The applicant is proposing to complete the curbside sidewalk along the frontage of the site. Because the street frontage is moderately to steeply sloping and wooded, there is no requirement to install street trees along the property frontage at this time. No other street improvements are warranted or required to serve the proposed utility facility.

Conclusion: As described herein and in the Site Plan Review submitted under separate cover (Case TYP216-00014) the proposal meets this criterion.

**C. Any adverse effects of the proposed use on adjacent properties and on the public can be mitigated through the:**

**1. Application of other Code standards (including, but not limited to: buffering from less intensive uses and increased setbacks);**

Finding: The site has mature tree cover surrounding the facility. In accordance with SDC 4.7-160, the facility needs to be screened and appropriately landscaped.

Finding: The proposed development will need to meet the requirements of SDC 3.2-200 for setbacks affecting placement of buildings and structures; overall lot coverage; access and site circulation; site lighting; and stormwater management.

Conclusion: As described herein and in the Site Plan Review submitted under separate cover (Case TYP216-00014) the proposal meets this criterion.

**2. Site Plan Review approval conditions, where applicable;**

Finding: The applicant will be required to satisfy the conditions of approval as may be imposed by this Discretionary Use Request and the Site Plan Review submitted under separate cover (Case TYP216-00014) prior to obtaining Final Site Plan approval and building permits for this project.

Finding: The Site Plan Review application and decision (Case TYP216-00014) is hereby made a part of the record for this decision by reference.

Conclusion: As described herein and in the Site Plan Review submitted under separate cover (Case TYP216-00014) the proposal meets this criterion.

**3. Other approval conditions that may be required by the Approval Authority; and/or**

Finding: Staff is recommending two conditions of Discretionary Use approval to address a necessary amendment to the adopted *Public Facilities and Services Plan* (Condition 1) and the extension of public sidewalk along Mountaingate Drive to a connection point along the frontage of an adjacent residential property (Condition 2). Other recommended conditions as may be required to address specific site development issues such as landscaping, screening, and site access will be described in the Site Plan Review approval (Case TYP216-00014).

Finding: Based on the testimony submitted at the public hearing, the Planning Commission may decide to approve, approve with conditions, or deny the Discretionary Use request.

Conclusion: As described and conditioned herein and in the Site Plan Review submitted under separate cover (Case TYP216-00014) the proposal meets this criterion.

**4. A proposal by the applicant that meets or exceeds the cited Code standards and/or approval conditions.**

Finding: The applicant has requested concurrent approval of the Site Plan submitted for the proposed utility facility (Case TYP216-00014). However, the applicant is not requesting alternate design criteria that exceed cited Code standards for this facility.

Finding: The existing water reservoir tanks abut a portion of the former Mountaingate West subdivision area that was platted in 2006. Ten of the lots and a segment of South 59<sup>th</sup> Street were platted immediately south of the water reservoir site, which – if built upon – would have placed residential dwellings within very close proximity to this utility installation. Additionally, the construction of residential dwellings on the hillside could have resulted in a significant loss of tree cover and natural vegetative screening. The undeveloped segment of South 59<sup>th</sup> Street that contains the gravel access driveway to the reservoir site was vacated in 2015. SUB acquired the ten undeveloped residential lots and the vacated segment of South 59<sup>th</sup> Street and replatted the subdivision area into a single consolidated parcel. Staff observes that the size of the consolidated parcel and the limited amount of development associated with the current project allows for a substantial perimeter buffer to remain around the existing and proposed utility improvements on the property. The existing vegetative buffering and screening, along with the setbacks from perimeter property lines, exceeds the requirements of the Development Code for high impact utility installations.

Conclusion: As described herein and in the Site Plan Review approval submitted under separate cover (Case TYP216-00014) the proposal meets this criterion.

**D. Applicable Discretionary Use criteria in other Sections of this Code:**

- 1. Wireless telecommunications systems facilities requiring Discretionary Use approval are exempt from Subsections A-C above, but shall comply with the approval criteria specified in Section 4.3-145.**
- 2. Alternative design standards for multifamily development are exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 3.2-245.**
- 3. Fences requiring Discretionary Use approval are exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 4.4-115.C.**
- 4. The siting of public elementary, middle and high schools requiring Discretionary Use approval is exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 4.7-195.**

Finding: The proposed utility facility is not a wireless telecommunications facility. Therefore, Criterion D.1 is not applicable.

Finding: The applicant is not proposing a multi-family development. Therefore, Criterion D.2 is not applicable.

Finding: The applicant is not proposing a new or modified fence that exceeds the standard provisions of SDC 4.4-115. Therefore, Criterion D.3 is not applicable.

Finding: The proposed facility is not a school and does not require special siting approval. Therefore, Criterion D.4 is not applicable.

Conclusion: The proposal meets this criterion.

**Conclusion:** Staff has reviewed the application and supporting evidence submitted by the applicant for the Discretionary Use request. Based on the above-listed criteria, staff recommends support for the request as the proposal meets the stated criteria for Discretionary Use approval subject to the recommended conditions contained herein. Additionally, approval of the Discretionary Use would facilitate the approval of the accompanying Site Plan Review application for a utility facility (Case TYP216-00014).

### **Conditions of Approval**

SDC Section 5.9-125 allows for the Approval Authority to attach conditions of approval to a Discretionary Use request to ensure the application fully meets the criteria of approval. The specific language from the code section is cited below:

#### **5.9-125        CONDITIONS**

**The Approval Authority may attach conditions as may be reasonably necessary in order to allow the Discretionary Use approval to be granted.**

Staff has reviewed the Discretionary Use request and supporting information provided by the applicant, and it is the opinion of staff that conditions of approval are recommended as described above and summarized as follows:

#### **RECOMMENDED CONDITIONS OF APPROVAL:**

- 1. The applicant shall prepare and submit a Type IV Metro Plan Amendment to add the completed water system project to the *Public Facilities and Services Plan* within one calendar year of project completion and commencement of operations.**
- 2. The curbside sidewalk along the Mountaingate Drive frontage of the site shall be extended approximately 120 feet past the northwestern property boundary to a connection point with the existing sidewalk along the frontage of 777 South 58<sup>th</sup> Street.**

The existing water reservoirs have been in operation for decades, and the proposal effectively constitutes an operational upgrade to meet projected water system demand in southeast Springfield. The proposed development has been reviewed and recommended conditions of approval are described in the Site Plan Review application for this development submitted under separate cover (Case TYP216-00014).

The Planning Commission may choose to apply other conditions of approval as necessary to comply with the Discretionary Use criteria.

**Additional Approvals**

The subject Discretionary Use request is the necessary first step for the applicant to proceed with development plans for the site. The three companion land use applications submitted for approval, including Site Plan Review (Case TYP216-00014), Hillside Development Overlay District (TYP216-00015), and Tree Felling Permit (TYP216-00016) are intended to address the specific Development Code and detailed site planning requirements for the proposed utility installation.



# TYPE II TENTATIVE SITE PLAN REVIEW, STAFF REPORT & RECOMMENDED CONDITIONS

**Project Name:** SUB Mountaingate Pump Station Site Plan Review

**Project Proposal:** Construct a pump station, realigned access driveway, and water pipeline on an existing public utility site

**Case Number:** TYP216-00014

**Project Location:** Mountaingate Drive at S. 58<sup>th</sup> Street (Map 18-02-04-11, TL 10900; and Map 18-02-03-00, TL 800 & 801)

**Zoning:** Low Density Residential (LDR)

**Comprehensive Plan Designation:**  
LDR (*Metro Plan*)

**Overlay Districts:** Hillside Development

**Pre-Submittal Meeting Date:** Nov. 20, 2015

**Application Submitted Date:** Feb. 26, 2016

**Planning Commission Meeting Date:**  
April 19, 2016

**Appeal Deadline Date:** May 4, 2016

**Associated Applications:**

PRE15-00001 (Development Issues Meeting); ANX15-00002 (Annexation); TYP215-00016 (Major Replat for lot consolidation); TYP316-00001 (Discretionary Use); TYP216-00015 (Hillside Development); TYP216-00016 (Tree Felling)



## APPLICANT'S DEVELOPMENT REVIEW TEAM

<b>Applicant:</b> Steven Wages SUB Water Engineering Division 202 South 18 <sup>th</sup> Street Springfield, OR 97477	<b>Applicant's Representative:</b> Richard Satre Schirmer Satre Group 375 West 4 <sup>th</sup> Avenue, Suite 201 Eugene, OR 97401	<b>Project Engineer:</b> Thomas Ferrell, PE PACE Engineers Inc. 5000 Meadows Road, Suite 345 Lake Oswego, OR 97035
---	---	--

## CITY OF SPRINGFIELD'S DEVELOPMENT REVIEW TEAM

POSITION	REVIEW OF	NAME	PHONE
Project Manager	Planning	Andy Limbird	541-726-3784
Transportation Planning Engineer	Transportation	Michael Liebler	541-736-1034
Public Works Engineer	Utilities	Kyle Greene	541-726-5750
Public Works Engineer	Sanitary & Storm Sewer	Kyle Greene	541-726-5750
Deputy Fire Marshal	Fire and Life Safety	Gilbert Gordon	541-726-2293
Building Official	Building	David Bowlsby	541-736-1029

**Site Information:** The subject development site is an existing 9.3 acre public utility installation on the western edge of the Mountaingate neighborhood in southeast Springfield. The site is zoned and designated Low Density Residential (LDR) in accordance with the Springfield Zoning Map and the *Metro Plan* diagram. The development site comprises three contiguous tax lots and contains two existing water reservoir tanks within a fenced compound. The proposed development site is accessed via a gravel driveway off Mountaingate Drive but a municipal street address has not been assigned to the site (Map 18-02-03-00, Tax Lots 800 & 801; and Map 18-02-04-11, Tax Lot 10900). The applicant has submitted a development proposal for construction of an 800 ft<sup>2</sup> pump station, reconfigured access driveway, and water pipeline connection to the public system in Mountaingate Drive. The project is not listed in the adopted *Public Facilities and Services Plan*, so the applicant has requested Discretionary Use approval for a high impact public utility facility in the LDR District to facilitate the changes proposed for the site. The Springfield Planning Commission will be reviewing the Discretionary Use permit at the public hearing meeting on April 19, 2016 (Case TYP316-00001).

The site is not within the mapped Time of Travel Zones (TOTZs) for the City's drinking water wellheads and, therefore, is not subject to the provisions of the Drinking Water Protection Overlay District, SDC 3.3-200. However, provisions for water quality protection during site construction and operation have been inserted as conditions of this decision in order to protect local surface waters and groundwater resources.

**DECISION:** This decision grants Tentative Site Plan Approval. The standards of the Springfield Development Code (SDC) applicable to each criterion of Site Plan Approval are listed herein and are satisfied by the submitted plans unless specifically noted with findings and conditions necessary for compliance. Final Site Plans must conform to the submitted plans as conditioned herein. This is a limited land use decision made according to City code and state statutes. Unless appealed, the decision is final. Please read this document carefully.

(See Page 13 for a summary of the conditions of approval.)

**OTHER USES AUTHORIZED BY THE DECISION:** None. Future development will be in accordance with the provisions of the Springfield Development Code, filed easements and agreements, and all applicable local, state and federal regulations.

**REVIEW PROCESS:** This application is reviewed under Type II procedures listed in Springfield Development Code Section 5.1-130 and the site plan review criteria of approval SDC 5.17-125. The subject application was submitted and deemed complete on February 26, 2016. Therefore, this decision is issued on the 53<sup>rd</sup> day of the 120 days mandated by the State.

**Procedural Finding:** Applications for Limited Land Use Decisions require the notification of property owners/occupants within 300 feet of the subject property allowing for a 14 day comment period on the application (SDC Sections 5.1-130 and 5.2-115). The applicant and parties submitting written comments during the notice period have appeal rights and are mailed a copy of this decision for consideration (See Written Comments below and Appeals at the end of this decision).

**Procedural Finding:** On March 15, 2016, the City's Development Review Committee reviewed the proposed plans (16 Sheets – PACE Engineers Inc. Sheets G1, A1-A2, and C1-C11; and Schirmer Satre Group Sheets L1.0 & L2.0) and other supporting information. City staff's review comments have been reduced to findings and conditions only as necessary for compliance with the Site Plan Review criteria of SDC 5.17-125.

**Procedural Finding:** In accordance with SDC 5.17-125 to 5.17-135, the Final Site Plan shall comply with the requirements of the SDC and the conditions imposed by the Director in this decision. The Final Site Plan otherwise shall be in substantial conformity with the tentative plan reviewed. Portions of the proposal approved as submitted during tentative review cannot be substantively changed during Final Site Plan approval. Approved Final Site Plans (including Landscape Plans) shall not be substantively changed during Building Permit Review without an approved Site Plan Modification Decision.

**WRITTEN COMMENTS:**

Procedural Finding: In accordance with SDC 5.1-130 and 5.2-115, notice was sent to adjacent property owners/occupants within 300 feet of the subject site on May 12, 2014. Staff responded to several telephone call inquiries from adjacent residents and property owners, and one written comment was received from Donald Grafton, 902 S 59<sup>th</sup> Street, Springfield, 97478:

*“Thank you for the notice concerning SUB’s application for improvements on the reservoir site near [South] 57<sup>th</sup> Place and Mountaingate Drive; we have no objections or issues. However, are there any indicators as to when the tree felling and improvements will take place?”*

Staff Response: Staff replied to Mr. Grafton’s email and advised that the project is scheduled for the 2016 construction season and initial work on the site could begin as early as May, 2016.

**CRITERIA OF SITE PLAN APPROVAL:**

SDC 5.17-125, Site Plan Review Standards, Criteria of Site Plan Approval states, “the Director shall approve, or approve with conditions, a Type II Site Plan Review Application upon determining that criteria A through E of this Section have been satisfied. If conditions cannot be attached to satisfy the criteria, the Director shall deny the application.”

**A. The zoning is consistent with the Metro Plan diagram, and/or the applicable Refinement Plan diagram, Plan District map, and Conceptual Development Plan.**

Finding 1: The site is zoned and designated Low Density Residential in accordance with the Springfield Zoning Map and the adopted *Metro Plan* diagram. The applicant is not proposing to change the zoning for the site.

Conclusion: This proposal satisfies Criterion A.

**B. Capacity requirements of public improvements, including but not limited to, water and electricity; sanitary sewer and stormwater management facilities; and streets and traffic safety controls shall not be exceeded and the public improvements shall be available to serve the site at the time of development, unless otherwise provided for by this Code and other applicable regulations. The Public Works Director or a utility provider shall determine capacity issues.**

Finding 2: Approval of this proposal would allow for construction of an 800 ft<sup>2</sup> pump station building, reconfiguration of the site access driveway, and installation of a water pipeline to the public system in Mountaingate Drive. The applicant is also proposing to grade and re-contour portions of the slope that uphill of the access driveway and pump station, and to plant native trees to replace trees removed for project construction.

Finding 3: For all public improvements, the applicant shall retain a private professional civil engineer to design the site improvements in conformance with City codes, this decision, and the current *Engineering Design Standards and Procedures Manual* (EDSPM). The private civil engineer also shall be required to provide construction inspection services.

Finding 4: The Development Review Committee reviewed the proposed site plan and landscaping plan on March 15, 2016. City staff’s review comments have been incorporated in findings and conditions contained herein.

Conclusion: The proposal satisfies this sub-element of the criterion.

## **Water and Electricity Improvements**

Finding 5: SDC 4.3-130 requires each development area to be provided with a water system having sufficiently sized mains and lesser lines to furnish adequate supply to the development and sufficient access for maintenance. Springfield Utility Board (SUB) coordinates the design of the water system within Springfield city limits.

Finding 6: Section 4.3-140.A of the SDC requires applicants proposing developments to make arrangements with the City and each utility provider for the dedication of utility easements that may be necessary to serve the development site and land beyond the development area. The minimum width for all public utility easements (PUEs) shall be 7 feet unless the Development & Public Works Director requires a larger easement to allow for adequate maintenance and access.

Finding 7: The proposed development is an expansion and upgrade to an existing water utility facility. In addition to increasing capacity, the project would extend another waterline connection from the reservoir site to the public water main in Mountaingate Drive. The proposed waterline extends across property already under City ownership and control, by and through the Springfield Utility Board.

Finding 8: The applicant is proposing to install new underground electrical lines beneath the site access driveway to serve the pump station. The existing power supply is adequate for the site and the applicant is not proposing to modify or upgrade the electrical service to the property. A dedicated utility easement is not required because the property is already owned by the utility provider.

Conclusion: The existing SUB Water and Electric facilities are adequate to serve the site and the proposal satisfies this sub-element of the criterion.

## **Sanitary Sewer and Stormwater Management Facilities**

### Sanitary Sewer

Finding 9: Section 4.3-105.A of the SDC requires that sanitary sewers shall be installed to serve each new development and to connect developments to existing mains. Additionally, installation of sanitary sewers shall provide sufficient access for maintenance activities.

Finding 10: Section 4.3-105.C of the SDC requires that proposed sewer systems shall include design consideration of additional development within the area as projected by the *Metro Plan*.

Finding 11: Section 2.02.1 of the City's EDSPM states that when land outside a new development will logically direct flow to sanitary sewers in the new development, the sewers shall be public sewers and shall normally extend to one or more of the property boundaries.

Finding 12: The applicant is proposing to construct an unoccupied pump station building on the site and the other existing structures are sealed water reservoir tanks. Because there is no occupied structure or sanitary drain proposed on the site, there is no requirement to extend sewer service to the property. Should sanitary sewer be required in the future, the nearest potential connection point is along the southwest property frontage on Mountaingate Drive.

Conclusion: The proposal satisfies this sub-element of the criterion.

### Stormwater Management (Quantity)

Finding 13: SDC 4.3-110.B requires that the Approval Authority shall grant development approval only where adequate public and/or private stormwater management systems provisions have been made as determined by the Development & Public Works Director, consistent with the EDSPM.

Finding 14: SDC 4.3-110.C states that a stormwater management system shall accommodate potential runoff from its entire upstream drainage area, whether inside or outside of the development.

Finding 15: SDC 4.3-110.D requires that runoff from a development shall be directed to an approved stormwater management system with sufficient capacity to accept the discharge.

Finding 16: SDC 4.3-110.E requires new developments to employ drainage management practices that minimize the amount and rate of surface water runoff into receiving streams, and that promote water quality.

Finding 17: To comply with Sections 4.3-110.D & E, stormwater runoff from the site will be directed into a roadside drainage swale prior to discharge into the public system located in Mountaingate Drive.

Finding 18: The existing public stormwater system, to which the applicant proposes connection, has limited capacity. The applicant has submitted hydrologic stormwater calculations, consistent with the City's EDSPM, showing that the proposed roadside drainage swale will limit the peak stormwater discharge rates to less than the developed rates for the former platted subdivision, thereby limiting the flow into the existing system to an acceptable level.

Finding 19: As part of the Final Site Plan approval, the applicant will be required to enter into a maintenance agreement with the City, whereby the applicant will provide routine functional maintenance of the proposed roadside drainage swale.

Finding 20: The applicant submitted a Stormwater Report without a registered professional engineer's seal. Stormwater reports are required to be completed by a registered professional engineer and stamped with the engineer of record's seal.

#### **Recommended Conditions of Approval:**

- 1. Prior to approval of the Final Site Plan, the applicant shall resubmit the project Stormwater Report stamped with the registered professional engineer's seal.**
- 2. Prior to approval of the Final Site Plan, the applicant shall enter into a maintenance agreement with the City whereby the applicant will provide routine maintenance for functionality of the roadside drainage swale.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

#### Stormwater Management (Quality)

Finding 21: Under Federal regulation of the Clean Water Act (CWA), Endangered Species Act (ESA), and National Pollutant Discharge Elimination System (NPDES), the City of Springfield is required to obtain, and has applied for, a Municipal Separate Storm Sewer System (MS4) permit. A provision of this permit requires the City to demonstrate efforts to reduce the pollution in urban stormwater to the Maximum Extent Practicable (MEP).

Finding 22: Federal and Oregon Department of Environmental Quality (ODEQ) rules require the City's MS4 plan to address six "Minimum Control Measures". Minimum Control Measure 5, "Post-Construction Stormwater Management for New Development and Redevelopment", applies to the proposed development.

Finding 23: Minimum Control Measure 5 requires the City of Springfield to develop, implement and enforce a program to ensure the reduction of pollutants in stormwater runoff to the MEP. The City also must develop and implement strategies that include a combination of structural or non-structural Best Management Practices (BMPs) appropriate for the community.

Finding 24: Minimum Control Measure 5 requires the City of Springfield to use an ordinance or other regulatory mechanism to address post-construction runoff from new and re-development projects to the extent allowable under State law. Regulatory mechanisms used by the City include the SDC, the City's *Engineering Design Standards and Procedures Manual* and the *Stormwater Facilities Master Plan (SFMP)*.

Finding 25: As required in SDC 4.3-110.E, "a development shall be required to employ drainage management practices approved by the Development & Public Works Director and consistent with *Metro Plan* policies and the *Engineering Design Standards and Procedures Manual*".

Finding 26: Section 3.02 of the City's EDSPM states the Development & Public Works Department will accept, as interim design standards for stormwater quality, water quality facilities designed pursuant to the policies and procedures of the City's EDSPM and the City of Eugene Stormwater Management Manual.

Finding 27: Section 3.02.5 and 3.02.6 of the City's EDSPM states all public and private development and redevelopment projects shall employ a system of one or more post-developed BMPs that in combination are designed to achieve at least a 70 percent reduction in the total suspended solids in the runoff generated by the development. Section 3.03.4.E of the manual requires a minimum of 50 percent of the non-building rooftop impervious area on a site shall be treated for stormwater quality improvement using vegetative methods and 100% of the area shall be pre-treated.

Finding 28: To meet the requirements of the City's MS4 permit, the Springfield Development Code, and the City's EDSPM, the applicant has proposed a roadside drainage swale.

Finding 29: The vegetation proposed for use in the roadside drainage swale will serve as the primary pollutant removal mechanism for the stormwater runoff. Satisfactory pollutant removal will occur only when the vegetation has been fully established.

#### **Recommended Conditions of Approval:**

- 3. Prior to approval of the Final Site Plan, the applicant shall provide an operations and maintenance plan to the City for review to ensure the long-term maintenance and operation of the roadside drainage swale. The plan should designate maintenance responsibility for operating and maintaining the system and should be distributed to all property owners and tenants of the site.**
- 4. The Final Site Plan shall provide for inclusion of the "native seed mix" from Detail 3 on Sheet C11 as a separate table on Sheet L1.0. The extent of the "native seed mix" shall be depicted as a separate hatching pattern for the grass-lined swale areas.**
- 5. The Final Site Plan shall provide for updating Detail 3 on Sheet C11 to be consistent with the City of Eugene Stormwater Management Manual detail in Appendix B for a grassy swale, including but not limited to channel geometry, depth of planting medium, liner/filter fabric, and check dams.**
- 6. The Final Site Plan shall provide a plan detail for the flapper valve described in Construction Note 20 on Sheet C2.**
- 7. To ensure a fully functioning water quality system and meet objectives of Springfield's MS4 permit, the SDC and the EDSPM, the roadside drainage swale shall be fully vegetated with all vegetation species established prior to the Final Site Inspection. Alternatively, if this condition cannot be met, the applicant shall provide and maintain additional interim erosion control/water quality measures acceptable to the Development & Public Works Department that will suffice until such time as the roadside drainage swale vegetation becomes fully established.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

## Streets and Traffic Safety Controls

Finding 30: SDC 4.2-105.G.2 requires that whenever a proposed development will increase traffic on a City street system and that development has any unimproved street frontage abutting a fully improved street, that street frontage shall be fully improved to City specifications. Exception (i) notes that in cases of unimproved streets, an Improvement Agreement shall be required as a condition of development approval postponing improvements until such time that a City street improvement project is initiated.

Finding 31: The subject site has approximately 530 feet of frontage on Mountaingate Drive along the southwest boundary. Along the site frontage, Mountaingate Drive is a fully improved minor collector street within a 60-foot wide right-of-way. The street currently lacks a curbside sidewalk along the property frontage and the applicant is proposing to construct the sidewalk with the pump station project. Staff observes that terminating the sidewalk at the northwest property boundary will leave a gap in the sidewalk as it currently terminates along the property frontage at 777 South 58<sup>th</sup> Street. To prevent a gap in the public sidewalk, the applicant will need to extend the sidewalk to the current terminus along the frontage of the adjacent residential property. Extension of the public sidewalk is a recommended condition of approval for the Discretionary Use permit for the project (Case TYP316-00001), which is incorporated herein by reference.

Finding 32: It is expected that the existing transportation facilities would be adequate to accommodate the anticipated vehicular and pedestrian traffic patterns generated by the proposed development in a safe and efficient manner. After completion of construction and commencement of operations, traffic generated by the site would be limited to occasional visits by SUB personnel for site monitoring and maintenance.

### Recommended Condition of Approval:

**8. The Final Site Plan shall provide for extension of the public sidewalk depicted along the Mountaingate Drive frontage of the site to a connection point with the existing sidewalk along the property frontage at 777 South 58<sup>th</sup> Street.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

**C. The proposed development shall comply with all applicable public and private design and construction standards contained in this Code and other applicable regulations.**

Finding 33: Criterion C contains three different elements with sub-elements and applicable code standards. The site plan application as submitted complies with the code standards listed under each sub-element unless otherwise noted with specific findings and conclusions. The elements, sub-elements and code standards of Criterion C include but are not limited to:

1. Infrastructure Standards in accordance with SDC 4.1-100, 4.2-100 & 4.3-100
  - Water Service and Fire Protection (4.3-130)
  - Public and Private Easements (4.3-120 – 4.3-140)
2. Conformance with standards of SDC 5.17-100, Site Plan Review, and SDC 3.2-200 Low Density Residential Zoning District
  - Low Density Residential District Schedule of Uses (3.2-210)
  - Low Density Residential District Development Standards (3.2-215)
  - Landscaping, Screening and Fence Standards (4.4-100)
  - On-Site Lighting Standards (4.5-100)
  - Vehicle Parking, Loading and Bicycle Parking Standards (4.6-100)
  - Specific Development Standards for High Impact Public Facilities (4.7-160)
3. Overlay Districts and Applicable Refinement Plan Requirements
  - Hillside Development Overlay District

## **C.1 Public and Private Improvements in accordance with SDC 4.1-100, 4.2-100 & 4.3-100**

### **Water Service and Fire Protection (4.3-130)**

#### Access

Finding 34: All fire apparatus access routes are to be paved all-weather surfaces able to support an 80,000 lb. imposed load in accordance with the 2014 Springfield Fire Code (SFC) 503.2.3 and SFC Appendix D102.1. Access to the project area is afforded from Mountaingate Drive. For the purposes of fire and emergency response, the aggregate surface proposed for the site access driveway should be sufficient.

Finding 35: The applicant is proposing to widen and realign the site access driveway to facilitate access by maintenance and emergency vehicles. The proposed project design also provides for a turnaround hammerhead at the end of the access driveway.

Finding 36: The applicant is proposing to install a fire hydrant inside the project area, adjacent to the proposed pump station building, which meets the requirements of the SFC.

Finding 37: At least three (3) feet of clear space shall be maintained around the circumference of all fire hydrants in accordance with SFC 507.5.5. Working space around fire department connections shall be maintained 3 feet in width on both sides of the connection point; 3 feet in depth in front of the connection; and 78 inches in height above the connection in accordance with SFC 912.3.2.

Finding 38: In accordance with SFC 912.3, immediate access to fire department connections shall be maintained at all times and without obstruction by fences, trees, shrubs, walls or any other objects.

#### Water Supply

Finding 39: The proposed development area is a public water utility installation that has a network of water pipelines emanating from the site. Therefore, water supply is assured for the proposed fire hydrant serving the project area.

Conclusion: The proposal satisfies this sub-element of the criterion.

### **Public and Private Easements (4.3-120 – 4.3-140)**

Finding 40: SDC 4.3-140.A requires applicants proposing developments to make arrangements with the City and each utility provider for the dedication of utility easements necessary to fully service the development or land beyond the development area. The minimum width for PUEs adjacent to street rights-of-way and internal to private properties shall be 7 feet, unless the Development & Public Works Director requires a larger easement to allow for adequate maintenance access.

Finding 41: The subject property is a publicly-owned utility installation that has a network of underground water lines extending to and across adjoining properties and public rights-of-way. As such, the entire site is effectively a public easement and no additional easements are required to serve the subject property.

Conclusion: Safe and efficient provision of public access and utilities requires the provision of corresponding access and utility easements. The proposal satisfies this sub-element of the criterion.

## **C.2 Conformance with Standards of SDC 5.17-100, Site Plan Review, and SDC 3.2-200, Low Density Residential Zoning District**

### **Low Density Residential Schedule of Uses (3.2-210)**

Finding 42: In accordance with SDC 3.2-210, high impact public utility facilities are allowable in the LDR District subject to special development standards, including but not limited to Discretionary Use and Site Plan Review.

Finding 43: The applicant will need to obtain prior or concurrent Discretionary Use approval for the subject development at the Planning Commission public hearing meeting on April 19, 2016. The Discretionary Use request (Case TYP316-00001) for development of a high impact public facility in the LDR District is incorporated herein by reference.

### **Recommended Condition of Approval:**

#### **9. Prior to or concurrent with approval of the tentative site plan the applicant shall obtain approval of a Discretionary Use request initiated by Planning Action TYP316-00001.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

### **Low Density Residential Standards (3.2-215)**

Finding 44: In accordance with SDC 3.2-215, the minimum parcel size for properties on an east-west street is 4,500 ft<sup>2</sup> with at least 45 feet of frontage. For parcels on a north-south street, the minimum size is 5,000 ft<sup>2</sup> with at least 60 feet of frontage.

Finding 45: In accordance with SDC 3.2-215, the minimum setbacks for structures is 10 feet for front, rear and street side yards, and 5 feet for interior side yards.

Finding 46: In accordance with SDC 3.2-215 (Footnote 13), the maximum building height for structures within the Hillside Development Overlay District is 45 feet.

Finding 47: The subject property is approximately 9.3 acres in size, which exceeds the requirements of SDC 3.2-215.

Finding 48: The subject site has approximately 530 feet of frontage on Mountaingate Drive, which is oriented northwest-southeast along the property frontage. The frontage exceeds the requirements of SDC 3.2-215 for either an east-west or north-south street.

Finding 49: The applicant is proposing to construct all structures more than 10 feet from any perimeter property line, which meets the requirements of SDC 3.2-215.

Finding 50: The existing water reservoir tanks are approximately 35 feet high as measured from the finished grade surrounding the tanks. The proposed pump station building is shown to be approximately 19 feet high at the roof peak, which meets the requirements of SDC 3.2-215.

Conclusion: The proposal satisfies this sub-element of the criterion.

### **Landscaping, Screening and Fence Standards (4.4-100 & 4.7-160)**

Finding 51: In accordance with SDC 4.4-100, all required setbacks are to be landscaped. Acceptable forms of landscaping include trees, shrubs, turf grass and ground cover plants. Existing native vegetation that is proposed to be retained on the site is considered landscaping.

Finding 52: In accordance with SDC 4.7-160, high impact public facilities in the LDR District are to be screened and have at least 25 percent of the site landscaped.

Finding 53: In accordance with SDC Table 4.4-1 (Footnote 5(a)), chain link fences in the LDR District may be up to 8 feet high for public utility facilities. The maximum fence height includes any barbed wire atop the chain link fencing.

Finding 54: The submitted landscaping plan provides for re-vegetation of the disturbed portions of the site with trees, grasses and forbs. The edges of the reconfigured access driveway and main operational area of the site is proposed to contain low-growing, drought-tolerant native plants for ease of establishment and minimal maintenance. Because the site is not continuously occupied, it will not have a permanent irrigation system or ornamental plantings. The remainder of the site contains wooded hillside that will not be affected by the proposed development.

Finding 55: The applicant's landscaping plan does not show or provide for revegetation of the proposed water pipeline alignment down the lower portion of the hillside to a connection point in Mountaingate Drive. Slope stabilization and revegetation will be required for the water line alignment after installation and this should be depicted on the applicant's landscaping plan.

Finding 56: At project build-out more than 50% of the site will be vegetated, which exceeds the requirements of SDC 4.7-160.

Finding 57: The applicant's project landscaping plan provides for planting of trees along the southeastern (uphill) edge of the realigned access driveway to provide for replacement of trees removed during construction. According to the applicant's project narrative, the trees will be a combination of native coniferous and deciduous trees that are four to six feet in height. However, the applicant's landscaping plan (Sheet L1.0) provides a planting detail for bare root seedlings that are much smaller than four to six-foot nursery stock trees.

Finding 58: Staff observes that site landscaping trees are typically a minimum 2-inch caliper standard instead of bare root seedlings. A four to six-foot tree standard is acceptable for revegetation of the site but will require a revision to the planting detail on Sheet L1.0.

Finding 59: Staff recommends that the native soil is removed, stockpiled, and then re-applied within the regraded areas of the slope as it will retain a seed bank of native trees and shrubs that can recolonize the disturbed portions of the slope after project completion.

Finding 60: There is no specific requirement to fence properties in the LDR District. However, the applicant has installed and is proposing to maintain security fencing around the perimeter of the reservoir tanks. In accordance with provisions of SDC Table 4.4-1, the chain link fencing has a barbed wire top and is 7 feet high.

Finding 61: The applicant is proposing to install a retaining wall along the east (uphill) edge of the compound surrounding the water reservoir tanks. The site plans do not specify the height of the retaining wall, but all retaining walls over four feet (48") in height are required to be engineered.

#### **Recommended Conditions of Approval:**

**10. The Final Site Landscaping Plan shall provide for revegetation of the water pipeline alignment along the hillside to its connection point at Mountaingate Drive. The species used for the waterline revegetation area shall be suitable native trees, grasses, and/or forbs.**

**11. The Final Site Landscaping Plan (Sheet L1.0) shall provide a revised tree list and planting detail for four to six-foot trees instead of bare root seedlings.**

**12. The Final Site Plan shall provide an engineered design for the retaining wall if it exceeds 48-inches in height.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

**On-Site Lighting Standards (4.5-100)**

Finding 62: In accordance with SDC 4.5-110.B.2.b, the maximum height of a freestanding light fixture within 50 feet of a residential district and riparian area, wetland, or other protected area shall not exceed 12 feet.

Finding 63: The applicant is proposing to install wall-pack security lights on the front (west) side of the pump station building at the 10-foot level.

Finding 64: The applicant is proposing to install two 12-foot high freestanding light fixtures to illuminate the ladder access points for the two water reservoir tanks. The proposed light fixtures should not cause glare or light trespass onto adjacent properties.

Finding 65: The applicant is proposing to install exterior light fixtures on the north and south ends of the building at about the 16-foot level. Staff advises that the light fixtures will need to be reduced to the 12-foot level to comply with the residential lighting standards of SDC 4.5-110.B.2.b.

**Recommended Condition of Approval:**

**13. The Final Site Plan and building plans shall provide for installation of light fixtures on the north and south ends of the pump station building at or below the 12-foot height level.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

**Vehicle Parking, Loading and Bicycle Parking Standards (4.6-100)**

Finding 66: In accordance with SDC Table 4.6-2, there is no requirement for parking spaces to serve public utility facilities unless vehicles are to be parked there overnight. The applicant is not proposing to have on-site vehicle storage or overnight vehicle parking.

Finding 67: In accordance with SDC Table 4.6-3, there is no requirement for bicycle parking for public utility facilities that do not have employees stationed on-site. The applicant is not proposing to have any employees stationed at the subject facility.

Conclusion: The proposal satisfies this sub-element of the criterion.

**C.3 Overlay Districts and Applicable Refinement Plan Requirements**

Finding 68: The site is subject to provisions of the Hillside Development Overlay District, SDC 3.3-500. The applicant has submitted a Hillside Development Overlay District application under separate cover (Case TYP216-00015), which is incorporated herein by reference. Approval of the Hillside Development Overlay District permit is required prior to or concurrent with approval of the Final Site Plan for the project.

Finding 69: High impact public utility facilities that are not shown in the adopted *Public Facilities and Services Plan* are a listed use in the LDR District subject to Discretionary Use procedures. The applicant has submitted a Discretionary Use request under separate cover (Case TYP316-00001) in accordance with SDC 5.9-100.

Finding 70: The subject site is located outside the mapped Time of Travel Zones (TOTZs) for the City's drinking water wellheads. Therefore, the site is exempt from provisions of the Drinking Water Protection

Overlay District. However, as a “Best Practices” recommendation for this site, care must be taken during site construction and operation to prevent contamination from chemicals that may spill or leak onto the ground surface, including fuel and automotive fluids (such as lubricants and antifreeze, etc.). Fluid-containing equipment, including vehicles parked on the site, shall be monitored for leaks and spills. Any chemical spills or leaks must be cleaned up immediately and cleanup materials disposed off-site in accordance with Lane County and State DEQ requirements.

**Recommended Condition of Approval:**

**14. Prior to or concurrent with approval of the Final Site Plan, the applicant shall obtain approval for a Hillside Development Overlay District permit as initiated by Planning Case TYP216-00015.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

- D. Parking areas and ingress-egress points have been designed to: facilitate vehicular traffic, bicycle and pedestrian safety to avoid congestion; provide connectivity within the development area and to adjacent residential areas, transit stops, neighborhood activity centers, and commercial, industrial and public areas; minimize curb cuts on arterial and collector streets as specified in this Code or other applicable regulations and comply with the ODOT access management standards for State highways.**

Finding 71: Installation of driveways on a street increases the number of traffic conflict points. The greater number of conflict points increases the probability of traffic crashes. Effective ways to reduce the probability of traffic crashes include: reducing the number of driveways; increasing distances between intersections and driveways; and establishing adequate vision clearance areas where driveways intersect streets. Each of these techniques permits a longer, less cluttered sight distance for the motorist, reduces the number and difficulty of decisions that drivers must make, and contributes to increased traffic safety.

Finding 72: In accordance with SDC 4.2-120.C, site driveways shall be designed to allow for safe and efficient vehicular ingress and egress as specified in Tables 4.2-2 through 4.2-5, the City’s EDSPM, and the Springfield Development & Public Works Department’s Standard Construction Specifications. Ingress-egress points must be planned to facilitate traffic and pedestrian safety, avoid congestion, and minimize curb cuts on public streets.

Finding 73: The applicant is proposing to modify the existing site driveway access on the north side of Mountaingate Drive. There are no other existing or proposed driveways along this stretch of Mountaingate Drive. The selected location offers good accessibility, sightlines, and vision clearance for maintenance vehicles entering and leaving the site. The applicant will need to obtain City permits for work within the public right-of-way to install the new curb cut and driveway approach for the site.

Conclusion: The proposal satisfies this criterion.

- E. Physical features, including, but not limited to: steep slopes with unstable soil or geologic conditions; areas with susceptibility of flooding; significant clusters of trees and shrubs; watercourses shown on the Water Quality Limited Watercourse Map and their associated riparian areas; wetlands; rock outcroppings; open spaces; and areas of historic and/or archaeological significance, as may be specified in Section 3.3-900 or ORS 97.740-760, 358.905-955 and 390.235-240, shall be protected as specified in this Code or in State or Federal law.**

Finding 74: The Natural Resources Study, the National Wetlands Inventory, the Springfield Wetland Inventory Map, Wellhead Protection Overlay and the list of Historic Landmark Sites have been consulted and there are no natural features on this site that warrant special protection measures.

Finding 75: The applicant is proposing to install a new 24-inch water pipeline between the pump station and the public water main in Mountaingate Drive. A portion of this alignment crosses a steeply-sloping hillside.

As stated above, the project is subject to a Hillside Development Overlay District approval initiated under Planning Case TYP216-00015 (Recommended Condition 14).

Finding 76: The applicant is proposing to remove about 85 qualifying trees from the site and has submitted a Tree Felling Permit under separate cover (Case TYP216-00016) incorporated herein by reference. Approval of the Tree Felling Permit will be required prior to initiating any tree cutting and removal activity on the site.

Finding 77: Stormwater runoff from the subject site eventually flows to the Willamette River system. This river is listed with the State of Oregon as a “water quality limited” stream for numerous chemical and physical constituents, including temperature. Provisions have been made in this decision for protection of stormwater quality. The proposed on-site stormwater treatment system consists of a vegetated roadside swale and on-site infiltration. At project completion, much of the site will be vegetated pervious surface that will facilitate stormwater infiltration.

Finding 78: As previously noted and conditioned herein, groundwater protection must be observed during construction on the site. The applicant shall maintain the private stormwater facilities on the site to ensure the continued protection of surface water and groundwater resources.

### **Recommended Condition of Approval:**

**15. Prior to or concurrent with approval of the Final Site Plan, the applicant shall obtain approval for a Tree Felling Permit as initiated by Planning Case TYP216-00016.**

Conclusion: As conditioned herein, the proposed development provides storm and ground water quality protection in accordance with SDC 3.3-200 and receiving streams have been protected in accordance with SDC 4.3-110 and 4.3-115.

**CONCLUSION: The Tentative Site Plan, as submitted and conditioned herein, complies with Criteria A-E of SDC 5.17-125. The subject Tentative Site Plan is hereby approved and incorporated by reference into the accompanying Hillside Development Overlay District approval (Case TYP216-00015) and Tree Felling Permit (Case TYP216-00016).**

### **WHAT NEEDS TO BE DONE BY THE APPLICANT TO OBTAIN FINAL SITE PLAN APPROVAL?**

Five copies of a Final Site Plan, the Final Site Plan application form and fees, and any additional required plans, documents or information are required to be submitted to the Planning Division within 90 days of the date of this letter (ie. by **July 18, 2016**). The application form and fee information is available on the City’s website here: <http://www.springfield-or.gov/dpw/Permits.htm>. In accordance with SDC 5.17-135 – 5.17-140, the Final Site Plan shall comply with the requirements of the SDC and the conditions imposed by the Director in this decision. The Final Site Plan otherwise shall be in substantial conformity with the tentative plan reviewed. Portions of the proposal approved as submitted during tentative review cannot be substantively changed during final site plan approval. Approved Final Site Plans (including Landscape Plans) shall not be substantively changed during Building Permit Review without an approved Site Plan Decision Modification.

**DEVELOPMENT AGREEMENT:** In order to complete the review process, a Development Agreement is required to ensure that the terms and conditions of site plan review are binding upon both the applicant and the City. This agreement will be prepared by Staff upon approval of the Final Site Plan and must be signed by the property owner prior to the issuance of a building permit.

### **SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL:**

**1. Prior to approval of the Final Site Plan, the applicant shall resubmit the project Stormwater Report stamped with the registered professional engineer’s seal.**

2. **Prior to approval of the Final Site Plan, the applicant shall enter into a maintenance agreement with the City whereby the applicant will provide routine maintenance for functionality of the roadside drainage swale.**
3. **Prior to approval of the Final Site Plan, the applicant shall provide an operations and maintenance plan to the City for review to ensure the long-term maintenance and operation of the roadside drainage swale. The plan should designate maintenance responsibility for operating and maintaining the system and should be distributed to all property owners and tenants of the site.**
4. **The Final Site Plan shall provide for inclusion of the “native seed mix” from Detail 3 on Sheet C11 as a separate table on Sheet L1.0. The extent of the “native seed mix” shall be depicted as a separate hatching pattern for the grass-lined swale areas.**
5. **The Final Site Plan shall provide for updating Detail 3 on Sheet C11 to be consistent with the City of Eugene Stormwater Management Manual detail in Appendix B for a grassy swale, including but not limited to channel geometry, depth of planting medium, liner/filter fabric, and check dams.**
6. **The Final Site Plan shall provide a plan detail for the flapper valve described in Construction Note 20 on Sheet C2.**
7. **To ensure a fully functioning water quality system and meet objectives of Springfield’s MS4 permit, the SDC and the EDSPM, the roadside drainage swale shall be fully vegetated with all vegetation species established prior to the Final Site Inspection. Alternatively, if this condition cannot be met, the applicant shall provide and maintain additional interim erosion control/water quality measures acceptable to the Development & Public Works Department that will suffice until such time as the roadside drainage swale vegetation becomes fully established.**
8. **The Final Site Plan shall provide for extension of the public sidewalk depicted along the Mountaingate Drive frontage of the site to a connection point with the existing sidewalk along the property frontage at 777 South 58<sup>th</sup> Street.**
9. **Prior to or concurrent with approval of the tentative site plan the applicant shall obtain approval of a Discretionary Use request initiated by Planning Action TYP316-00001.**
10. **The Final Site Landscaping Plan shall provide for revegetation of the water pipeline alignment along the hillside to its connection point at Mountaingate Drive. The species used for the waterline revegetation area shall be suitable native trees, grasses, and/or forbs.**
11. **The Final Site Landscaping Plan (Sheet L1.0) shall provide a revised tree list and planting detail for four to six-foot trees instead of bare root seedlings.**
12. **The Final Site Plan shall provide an engineered design for the retaining wall if it exceeds 48-inches in height.**
13. **The Final Site Plan and building plans shall provide for installation of light fixtures on the north and south ends of the pump station building at or below the 12-foot height level.**
14. **Prior to or concurrent with approval of the Final Site Plan, the applicant shall obtain approval for a Hillside Development Overlay District permit as initiated by Planning Case TYP216-00015.**
15. **Prior to or concurrent with approval of the Final Site Plan, the applicant shall obtain approval for a Tree Felling Permit as initiated by Planning Case TYP216-00016.**

The applicant may submit permit applications to other City departments for review prior to final site plan approval in accordance with SDC 5.17-135 at their own risk. All concurrent submittals are subject to revision for compliance with the final site plan. A development agreement in accordance with SDC 5.17-140 will not be issued until all plans submitted by the applicant have been revised. **CONFLICTING PLANS CAUSE DELAYS.**

**ADDITIONAL INFORMATION:** The application, all documents, and evidence relied upon by the applicant, and the applicable criteria of approval are available for free inspection and copies are available for a fee at the Development & Public Works Department, 225 Fifth Street, Springfield, Oregon.

**APPEAL:** This Type II Tentative Site Plan decision is accompanied by, and is subordinate to, the Type III Discretionary Use Request initiated by Case TYP316-00001 and is therefore considered a Type III decision of the Planning Commission. As such, this decision may be appealed to the Springfield City Council. The appeal may be filed with the Development & Public Works Department by an affected party. Your appeal must be in accordance with **SDC 5.3-100, Appeals**. An Appeals application must be submitted with a fee of \$2,468.00. The fee will be returned to the applicant if the City Council approves the appeal application.

In accordance with SDC 5.3-115.B which provides for a 15-day appeal period and Oregon Rules of Civil Procedures, Rule 10(c) for service of notice by mail, the appeal period for this decision expires at **5:00 PM on May 4, 2016**.

**QUESTIONS:** Please call Andy Limbird in the Planning Division of the Development & Public Works Department at (541) 726-3784 or email [alimbird@springfield-or.gov](mailto:alimbird@springfield-or.gov) if you have any questions regarding this process.

**PREPARED BY**

Andy Limbird  
Senior Planner

**Please be advised that the following is provided for information only and is not a component of the Site Plan Review decision.**

## **FEES AND PERMITS**

### Systems Development Charges:

The applicant must pay Systems Development Charges when the building permits are issued for developments within the City limits or within the Springfield Urban Growth Boundary. The cost relates to the amount of increase in impervious surface area, transportation trip rate, and plumbing fixture units.

Systems Development Charges (SDCs) will apply to the construction of buildings and site improvements within the subject site. The charges will be based upon the rates in effect at the time of permit submittal for buildings or site improvements on each portion or phase of the development.

### Sanitary Sewer In-Lieu-Of-Assessment Charge:

Pay a Sanitary Sewer In-Lieu-Of-Assessment charge in addition to the regular connection fees if the property or portions of the property being developed have not previously been assessed or otherwise participated in the cost of a public sanitary sewer. Contact the Engineering Division to determine if the In-Lieu-Of-Assessment charge is applicable [Ord. 5584].

### Public Infrastructure Fees:

It is the responsibility of the private developer to fund the public infrastructure.

### Other City Permits:

Encroachment Permit or Sewer Hookup Permit (working within right-of-way or public easements). For example, new tap to the public storm or sanitary sewer, installation or repair of public sidewalk, or adjusting a manhole. The current rate is \$301 for processing plus applicable fees and deposits.

Land and Drainage Alteration Permits (LDAP). Contact the Springfield Development & Public Works Department at 541-726-5849 for appropriate applications/requirements.

### Additional permits/approvals may be necessary:

- Plumbing Permits
- Electrical Permits
- Building Permits
- Curb cut permit
- Paving permit



**Signatures**

The undersigned acknowledges that the information in this application is correct and accurate.

**Applicant:** \_\_\_\_\_ **Date:** 2-23-16

  
**Signature**

STEVEN WAGES  
**Print**

If the applicant is not the owner, the owner hereby grants permission for the applicant to act in his/her behalf.

**Owner:** \_\_\_\_\_ **Date:** 2-23-16

  
**Signature**

RAYMOND MEDINA  
**Print**

Date Received:

FEB 26 2016

February 26, 2016

**SPRINGFIELD UTILITY BOARD**  
**57<sup>th</sup> Pump Station and Reservoir Site Improvement**  
Map 18-02-03-00, Lots 00800 and 00801 and Map 18-02-04-11, Lot 10900  
**Discretionary Use**

**WRITTEN STATEMENT**

In accordance with Discretionary Use submittal requirements, this written statement describes the proposed development and demonstrates that the proposal complies with the criteria contained in SDC 5.9-100 through 5.9-120. The proposal is submitted concurrently with Site Plan Review and Hillside Overlay District Development applications and a Tree Felling Permit. We request that these applications be processed concurrently.

**I. LAND USE REQUEST**

**A. Development Objective**

The applicant's development objective is to carry out specific renovations to a long-existing Springfield Utility Board reservoir site. The project includes the construction of a new pump station, the installation of new water piping infrastructure, a new access drive and miscellaneous minor site improvements.



Subject Site  
Existing Conditions  
Google Earth 2014

**B. Land Use Request<sup>1</sup>**

In accordance with the results of a Development Issues Meeting the applicant held with the City of Springfield on June 4, 2015 (See City of Springfield Jo. No. PRE15-00024), accomplishing the development objective will require City of Springfield approval of four land use applications, Site Plan Review, Discretionary Use, Hillside Overlay District Development and Tree Felling. Although relating to the same project, each of these have been generated as a complete, stand-alone application including application form, city fee, written statement with findings demonstrating compliance with applicable criteria, exhibits and plans. While each of these is to receive its own decision, to ease the overall process, these four applications are being submitted collectively for concurrent processing. It is intended that this will provide an opportunity for cross-referencing and parallel review and assist the city in rendering a decision. Additional details regarding this proposal are provided on the plans, the remainder of this written statement, and other materials enclosed and attached herewith.

<sup>1</sup> As there are four applications addressing the same project, and the written statements are each complete in and of themselves, the reviewer will find some duplication in written statement contents. Specifically, Part I – Land Use Request, Part II – The Site and Existing Conditions and Part IV – Conclusion and Recommendation are duplicated in each of the statements. Part III – Criteria and Findings is unique to each application.



PLANNERS + LANDSCAPE ARCHITECTS + ENVIRONMENTAL SPECIALISTS

375 West 4th, Suite 201, Eugene, OR 97401  
Phone: 541.686.4540 Fax: 541.686.4577  
www.schirmersatre.com

Date FEB

**C. Project Directory**

1. Applicant / Property Owner  
Steven Wages, Project Manager  
Springfield Utility Board  
Engineering Department  
Water Division  
202 South 18<sup>th</sup> Street  
Springfield, OR 97477  
Voice: 541-726-2396  
Fax: 541-747-7348  
Email: [stevenw@subutil.com](mailto:stevenw@subutil.com)
2. Applicant's Representative  
Richard M. Satre, AICP, ASLA, CSI  
Schirmer Satre Group  
375 West 4<sup>th</sup> Avenue, Suite 201  
Eugene, OR 97401  
Voice: 541-686-4540  
Fax: 541-686-4577  
Email: [rick@schirmersatre.com](mailto:rick@schirmersatre.com)
3. Professional Design Team
  - a. Planner  
Richard M. Satre, AICP, ASLA, CSI  
Schirmer Satre Group  
375 West 4<sup>th</sup> Avenue, Suite 201  
Eugene, OR 97401  
Voice: 541-686-4540  
Fax: 541-686-4577  
Email: [rick@schirmersatre.com](mailto:rick@schirmersatre.com)
  - b. Landscape Architect  
Jeff Sakacsi  
Schirmer Satre Group  
375 West 4<sup>th</sup> Avenue, Suite 201  
Eugene, OR 97401  
Voice: 541-686-4540  
Fax: 541-686-4577  
Email: [jeffs@schirmersatre.com](mailto:jeffs@schirmersatre.com)
  - c. Civil/Structural Engineer  
Tom Ferrell, PE  
PACE Engineers, Inc.  
5000 Meadows Road, Suite 345  
Lake Oswego, OR 97035  
Voice: 503-597-3222  
Fax: 503-597-7655  
Email: [tomf@paceengrs.com](mailto:tomf@paceengrs.com)
  - d. Surveyor  
Renee Clough, PE, PLS, AICP  
Branch Engineering, Inc.  
310 5<sup>th</sup> Street  
Springfield, OR 97477  
Voice: 541-746-0637  
Fax: 541-746-0389  
Email: [renee@branchengineering.com](mailto:renee@branchengineering.com)

**II. THE SITE AND EXISTING CONDITIONS**

**A. Development Site**

The site is known as the South 57th Street Reservoir Site. Initially comprised of two small tax lots (Map 18-02-03-00, Lots 00800 and 00801), the site has recently expanded to include an adjacent tax lot (Map 18-02-04-11, Lot 10900)<sup>2</sup>. Thus, the subject property is now comprised of three abutting tax lots and is approximately 9.25 acres in size.

Existing improvements to the original two tax lots include two reservoirs and associated water facility infrastructure. The recently acquired tax lot is unimproved, but for a gravel access drive to the reservoir site. The property is located in the southeast area of Springfield, in what is commonly referred to as the Thurston neighborhood.

The Reservoir Site is a forested, west-facing hillside. Elevations range from approximately 560 feet elevation near the southwest corner, along Mountain Gate Drive, to approximately 700 feet elevation in the northeast corner, behind the existing reservoirs. Slopes range from a shallow 5 to 10 percent near the base of the reservoirs to upwards of 30 to 40 percent elsewhere. Access is by way of a gravel access drive extending from Mountain Gate Drive south of the site. Abutting

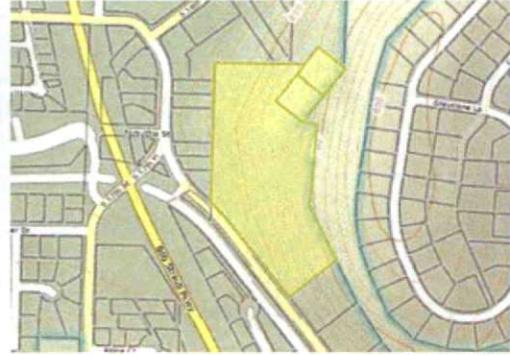
<sup>2</sup> This recently acquired tax lot was formerly 10-lot component of the adjacent subdivision, MountainGate West. The 10 lots have recently been replatted (City of Springfield Jo. No. TYP115-00041) and the formerly dedicated right-of-way within this 10-lot area (South 59<sup>th</sup> Street) has recently been vacated (City of Springfield Jo. No. TYP415-00003).

Date Received:

the site to the north is partially improved land, planned and zoned low density residential. Abutting the site to the west is partially improved land planned, zoned for low density residential development. Abutting the site to the east is unimproved land planned and zoned for low density residential development but is publicly owned and now part of the community's park and open space system.



Subject Site  
Looking East  
Bing Maps  
June 2014



Subject Site  
(Property highlighted in yellow)  
Lane Regional Information Database (RLID)  
November 2015

## B. Planning Context

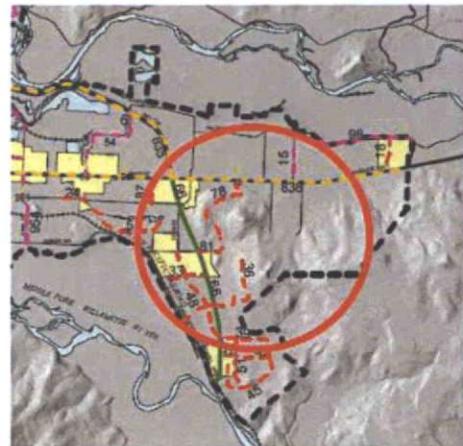
### 1. Planning and Zoning

- a. Jurisdiction: City of Springfield.
- b. Metro Plan: Low Density Residential.
- c. Neighborhood Plan: None.
- d. Zoning: Low Density Residential.

### 2. Transportation

#### a. TransPlan.

- The region's adopted transportation plan, *The Eugene-Springfield Transportation System Plan* (TransPlan), adopted in 2001 and amended in 2002, includes a few projects in the vicinity of the subject property. One project in particular, Project 66, was near the 57<sup>th</sup> Street site. Project 66 was a *programmed project* to construct a *new arterial link or interchange*. That project was the Bob Straub Parkway, which has been completed. Another nearby project, Project 78, an *unprogrammed new collector*, Mountain Gate Drive, has also been completed.



TransPlan Excerpt  
Lane Council of Governments  
July 2002

#### b. Conceptual Local Street Plan.

Date Received:

- The City of Springfield *Conceptual Local Street Plan* shows proposed future streets within Springfield's jurisdiction. The plan is illustrative only. Definitive information regarding planned streets can be found in *TransPlan*. Nonetheless, the *Conceptual Local Street Plan* does illustrate a few streets in the vicinity of the subject property. There are none near the 57<sup>th</sup> Street site.



Conceptual Local Street Plan Excerpt  
City of Springfield  
August 2012

- c. Public Transit.
  - There is no public transit service in the vicinity of either reservoir site.
- 3. Utilities.
  - a. Stormwater.
    - The *Springfield Stormwater Facilities Master Plan* shows the subject property as being in the Weyerhaeuser Outfall Stormwater Basin (Figure 2-2). The *Master Plan* documents a nearby Priority CIP, the 59th-Daisy-Aster Street stormwater improvement project (Figure 5-1), but nothing adjacent to or having an effect on the site.

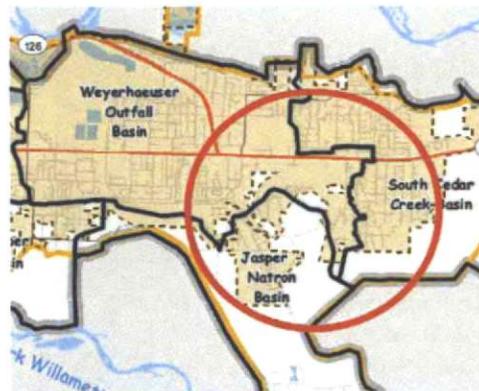


Fig 2-2 Basin Map Excerpt  
Stormwater Facilities Master Plan  
City of Springfield  
October 2008

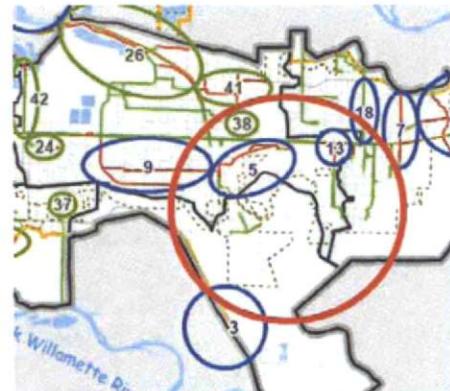


Fig 5-1 Capital Improvement Map Excerpt  
Stormwater Facilities Master Plan  
City of Springfield  
October 2008

Date Received:

- The Subject Property has nearby stormwater infrastructure. The 57<sup>th</sup> Street site, being bordered by partially improved residential property to the north and west and unimproved park land to the east, does not have any immediately adjacent stormwater infrastructure. There is storm infrastructure a short distance to the south however, in Mountain Gate Drive. Should the collection and conveyance of stormwater off site be necessary, the existing 15-inch public stormwater facility in Mountain Gate Drive is available.



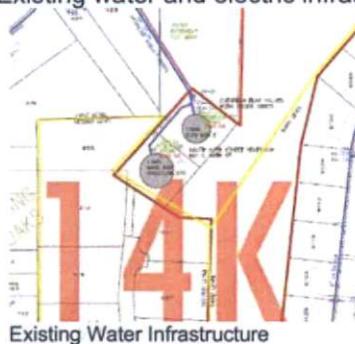
Subject Site  
 Existing Storm and Sanitary Infrastructure  
 City of Springfield  
 May 2009

- b. Wastewater.
- The 57<sup>th</sup> Street site has wastewater infrastructure available in Mountain Gate Drive. Here, too, should the collection and conveyance of wastewater off site be necessary, the existing 8-inch facility in Mountain Gate Drive is available.
- c. Wellhead Protection.
- The subject site is not within a wellhead protection area, nor are there any protection areas near the subject property.

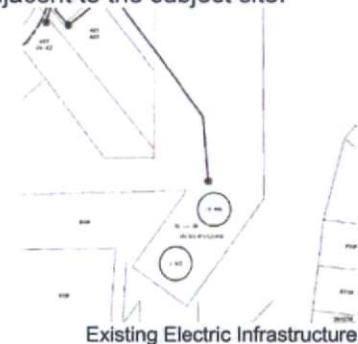


Wellhead Protection Areas Map Excerpt  
 City of Springfield and Springfield Utility Board  
 January 2013

- d. Water and Electric.
- Existing water and electric infrastructure is on and adjacent to the subject site.



Existing Water Infrastructure



Existing Electric Infrastructure

Date Received:

FEB 26 2016

4. Natural Resources.
- a. Springfield Natural Resources Study.
- The Springfield Natural Resource Study Report does not identify any resources on or near the site that would be impacted by the proposed development.

b. Springfield Wetland Inventory / Water Quality Limited Watercourses (WQLW)

- Neither the National Wetlands Inventory nor the Local Wetlands Inventory document the presence of jurisdictional wetlands on or adjacent to the subject property.
- Springfield's Water Quality Limited Watercourses inventory documents that there are no WQLW features on or adjacent to the subject property.



Wetland Inventory Map Excerpt  
City of Springfield  
July 2010

5. Parks and Open Space.
- a. Willamalane Park and Recreation Comprehensive Plan.

- The *Willamalane Park and Recreation District Comprehensive Plan's Proposed Park and Recreation Projects Map* includes an area of parkland adjacent to the 57<sup>th</sup> Street site. This has been acquired by Willamalane. The Comprehensive Plan lists this area as open space and does not include and improvements to the property.



Park and Recreation Projects Map Excerpt  
Willamalane Park and Recreation District  
October 2012

### III. DISCRETIONARY USE – APPROVAL CRITERIA AND FINDINGS

This section is presented in the same order of applicable requirements found in Section 5.9-120 Discretionary Use Criteria of the Springfield Development Code. Applicable sections of the Code are in ***bold italics***, followed by proposed findings of facts in normal text.

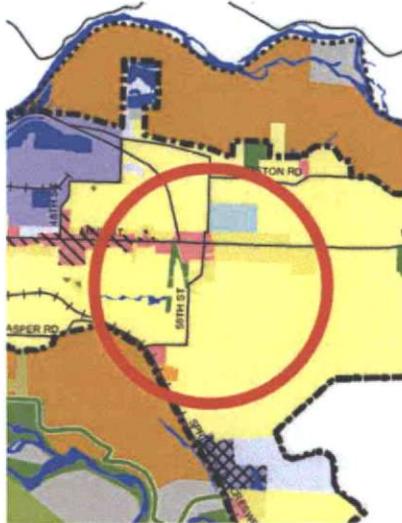
***A. The proposed use conforms with applicable:***

***1. Provisions of the Metro Plan;***

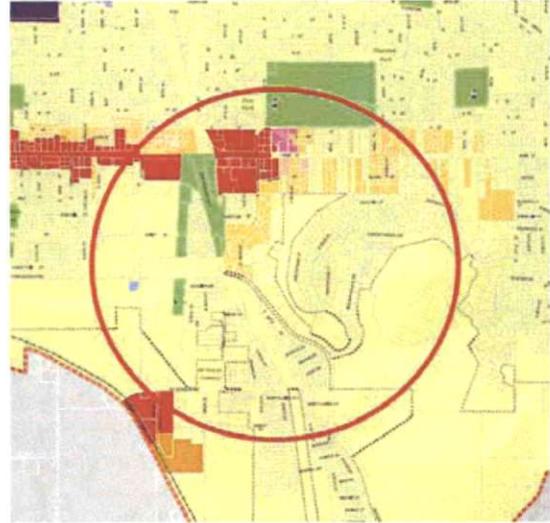
As for the Metro Plan diagram, we all know that the diagram is not tax lot specific, and many local streets and other identifying features are absent from the diagram. Thus it is at times a challenge to locate a particular property. However, we have the benefit of the Springfield Zoning Map. As the zoning map includes more detail – primarily tax lots – we can use the

Date Received:

zoning map to help locate the property on the Metro Plan diagram. Thus, for the subject property, we can confirm that the property's zoning – Low Density Residential – is consistent with the Metro Plan diagram. In this regard, this criterion (SDC 5.9-120.A.1) is met.



Metro Plan Diagram Excerpt  
Lane Council of Governments  
December 2010



Zoning Map Excerpt  
City of Springfield  
May 2014

**2. Refinement plans;**

There are no refinement plans for the subject site or plans which contain the subject site. Therefore, this criterion (SDC 5.9-120.A.2) does not apply.

**3. Plan District standards;**

There are no plan districts or plan district standards for the subject site or any which contain the subject site. Therefore, this criterion (SDC 5.9-120.A.3) does not apply.

**4. Conceptual Development Plans or**

There is no conceptual development plan for the subject site or a plan which contains the subject site. Therefore, this criterion (SDC 5.9-120.A.4) does not apply.

**5. Specific Development Standards in this Code;**

SDC Chapter 4 Development Standards addresses general development standards that are applicable to the project. These, and project responses in compliance with those standards, include the following:

**1. 4.2-120.C Driveway Design.**

- a. **Width: 12 feet minimum, 24 feet maximum.**
- b. **Proximity: Minimum 30 feet from intersection.**

In compliance with staff comments at the project's pre-submittal meeting, the project includes the installation of a new driveway in compliance with City of Springfield standard drawing 3-10. Thus, this standard is met.

**2. 4.2-130 Vision Clearance.**

Date Received:

- a. ***A triangle measuring a minimum of 10 feet along the front property line and 10 feet driveway depth, wherein no vegetation, fencing of other sight-obscuring elements between 2-1/2 feet and 8 feet above ground.***

As the proposed improvements are constructed, a 10-foot by 10-foot minimum vision clearance triangle will be provided at both sides of the driveway. Therefore, this standard is met.

3. **4.2-140 Street Trees.**

- a. ***Existing street trees are to be retained. If removed, they must have a permit to do so and be replaced with a new tree.***

There are no existing street trees. None will be removed. None are proposed. Therefore, this standard does not apply.

4. **4.3-100 Utilities.**

- a. ***All development within the city limits shall have access to all required utilities, including sanitary and stormwater. Utility placement is to be coordinated between the city, the applicant and the utility providers. All new utilities are to be placed underground. Utility easements as required.***

As noted in criteria B above, sanitary and storm facilities are immediately adjacent to the subject property. Sanitary is not needed. Stormwater will be managed in accordance with the City of Springfield Engineering Design Standards and Procedures Manual (EDSPM). In that regard, runoff from impervious surfaces will be managed on-site, with the majority of the runoff sheet draining off the edge of the on-site roadway and draining into a roadside swale. Most of that runoff will infiltrate into the ground. To the degree that some of the runoff does not infiltrate, as the swale nears Mountain Gate Drive, runoff will be collected into a pipe and be directed into existing stormwater infrastructure in the street.

Electrical and water infrastructure exists on the site and is available as needed for the project.

All new utilities will be located in coordination with utility providers and placed underground, in easements where required. Given this, this standard is met.

5. **4.4-100 Landscaping, Screening and Fencing.**

- a. ***The proposal shall meet the standards of Section 4.4-105 Landscaping, Section 4.4-110 Screening and Section 4.4-115 Fences.***

Section 4.4-105 Landscaping – Required setbacks include 10 feet at the front and rear lot lines and 5 feet at interior side yards. Existing and proposed improvements are located well away from adjacent lot lines, far exceeding minimum setbacks. As the site is heavily wooded, and setback areas will not be disturbed, setback landscaping is satisfied with the existing woodland vegetation.

Interior to the site, there will be some disturbed areas as the pump station, on-site roadway and utility infrastructure is constructed. These areas will be landscaped. A minimum of 65% of required planting areas will be covered with living plant material within 5 years of installation. Disturbed areas will be planted with native meadow grasses, those tolerant of a shaded environment and not needing to be mowed. New meadow grass areas will be drought resistant and not need irrigation.

Date Received:

There will be some areas of tree removal. These will be interior to the site, where the new pump house and roadway are to be constructed. To the degree these areas will be visible to adjacent properties or the street, new trees will be installed. These will be native trees. If a deciduous species, they will be not less than 6 feet in height. If coniferous, they will be not less than 4 feet in height. Where trees are installed, an irrigation tube time-release watering system will be provided for the new trees.

Section 4.4-110 Screening – Screening is required for major public facilities. Vegetative screening will be utilized. This vegetative screen will be comprised of existing dense wooded area on the site.

Along the southwest and western boundaries of the site, where site disturbance may be visible, new trees will be planted.



New Trees will Provide Screening where Required

Existing Trees Provide Required Screening

Section 4.4-115 Fences – Existing improvements on the subject property (the two water reservoirs) is currently fenced with a chain link fence. The new pump house area will be fenced.

Given the above, this standard is met.

6. **4.6-100 Vehicle Parking, Loading and Bicycle Standards.**  
a. **The proposal will meet the standards of Section 4.6-105 through 4.6-125 Vehicle Parking, Section 4.6-130 through 4.6-135 Loading Areas and Section 4.6-140 through 4.6-155 Bicycle Parking.**

Section 4.6-105 through 4.6-125 Vehicle Parking – This is a major public utility facility. It is not open to the public. There are no customers or visitors. The only vehicles that will be accessing the site will be maintenance and repair vehicles from the utility facility owner or contractors. There is no parking needed. Thus this standard does not apply.

Section 4.6-130 through 4.6-135 Loading Areas – The need isn't so much for loading areas as it is for staging areas for on-site work activity. In this regard, gravel surface area is provided around the existing water tanks and new pump house. These areas meet or exceed the minimum width of 10 feet, minimum length of 25 feet and minimum clear vertical height of 14 feet. In this regard, this standard is met.

Section 4.6-140 through 4.6-155 Bicycle Parking – This facility is not open to the public. Individuals accessing the site will be utility employees or contractors in

Date Received:

maintenance and repair vehicles. There is no demand for bicycle parking. Thus, this standard does not apply.

Given the above, this criterion (SDC 5.9-120.A.5) is met.

**B. The site under consideration is suitable for the proposed use, considering:**

- 1. The location, size, design and operating characteristics of the use (operating characteristics include but are not limited to parking, traffic, noise, vibration, emissions, light, glare, odor, dust, visibility, safety, and aesthetic considerations, where applicable);**

Criteria B addresses "**The site under consideration is suitable for the proposed use.**" The proposed use is an existing use for the site. It is a long-standing public utility facility; one regarding water infrastructure. The proposal does not change that use, but is a proposal to improve and upgrade the existing facility. The site is suitable for the proposed use because it is an existing use.

With regard to location, size and design of the use, this proposal makes improvements to the access, streetside sidewalk and driveway and interior functionality of the facility. The improvements, the existing reservoirs and new pump station remain in the interior of the site away from right-of-way and neighboring properties.

With regard to operating characteristics, here too, the site has long been operating as the existing use, the same as the proposed use. Parking will occur only when utility employee or contractor vehicles are on site for routine operations and maintenance activities. Traffic is minimal and incidental. There is no noise, vibration, emissions, odor or dust caused by the use. Light is minimal, and there is no glare, with only a few down-cast, shielded light fixtures. Safety is improved with the replacement of a suitable driveway and completion of the streetside sidewalk. Visibility and aesthetic considerations are maintained with the installation of native trees where the improvements may be visible from the adjacent street.

Given this, this criterion (SDC 5.9-120.B.1) is met.

- 2. Adequate and safe circulation exists for vehicular access to and from the proposed site, and on-site circulation and emergency response as well as pedestrian, bicycle and transit circulation;**

The adjacent street is a local street. It is improved to standards. The proposed driveway meets standards. On-site circulation has been designed to serve utility vehicles. The Springfield Fire Marshal, through the project's pre-submittal meeting completeness review comments indicated that the facility meets requirements. Bicycle and transit facilities do not exist in the immediate neighborhood and no demand for such will be generated by this development. Therefore, this criterion (SDC 5.9-120.B.2) is met.

- 3. The natural and physical features of the site, including but not limited to, riparian areas, regulated wetlands, natural stormwater management/drainage areas and wooded areas shall be adequately considered in the project design; and**

Of the physical features listed in this criterion, the following features and how the proposal addresses those is as follows:

- 1. Steep Slopes with unstable soil or geologic conditions.** There are steep slopes, but no unstable soils or geologic conditions.

Date Received:

2. **Areas with susceptibility of flooding.** There are no areas susceptible to flooding.
3. **Significant clusters of trees and shrubs.** There are significant clusters of trees. As noted herein, a significant portion of the subject property will not be disturbed. Here, existing treed areas will remain. Of areas which will be disturbed, native trees will be planted to provide screening of the proposed improvements where visible from adjacent properties. Of the disturbed interiors of the site, native grasses will be planted.
4. **Watercourses shown on the WQLW Map and their associates riparian areas.** There are no watercourses or associated riparian areas on the WQLW Map which are on or adjacent to the site.
5. **Other riparian areas and wetlands.** There are no other riparian areas or wetlands.
6. **Rock outcroppings.** There are no areas of rock outcroppings
7. **Open spaces.** As it is defined in the Springfield Development code, there are no open spaces on the site.
8. **Areas of historic and/or archeological significance.** There are no known historic or archeological areas on the site.

Thus, this criterion (SDC 5.9-120.B.3) is met.

**4. Adequate public facilities and services are available, including but not limited to, utilities, streets, storm drainage facilities, sanitary sewer and other public infrastructure.**

The site is an existing public utility facility. It is not inhabited with any dwelling units, offices or other buildings regularly occupied by people. There is no need for the full suite of utility facilities. Nonetheless, public and private facilities are provided as follows:

**Storm:** Public stormwater infrastructure exists in Mountain Gate Drive along the subject property's south boundary.

**Sanitary:** Similarly, 57<sup>th</sup> Street has wastewater infrastructure available in Mountain Gate Drive.

**Water:** Water infrastructure is available on site.

**Electric:** Electric infrastructure is available on site.

**Streets:** Mountain Gate Drive abuts the subject property's southern boundary.

Given this, this criterion (SDC 5.9-120.B.4) is met.



**C. Any adverse effects of the proposed use on adjacent properties and on the public can be mitigated through the:**

**1. Application of other Code standards (including, but not limited to: buffering from less intensive uses and increased setbacks);**

There are no adverse effects of the proposed use on adjacent properties. The proposed use is a continuation of a long-standing existing use. With this, this criterion (SDC 5.9-120.C.1) is met.

Date Received:

FEB 26 2016

**2. Site Plan Review approval conditions, where applicable;**

There is a concurrent Site Plan Review application in process for this proposal. Should there be any conditions of approval associated with a decision in regards to that application, they would no doubt be beneficial to the compliance of Discretionary Use criteria.

**3. Other approval conditions that may be required by the Approval Authority; and/or**

As of the writing of this application narrative, it cannot be known if other conditions may be required.

**4. A proposal by the applicant that meets or exceeds the cited Code standards and/or approval conditions.**

The proposal meets or exceeds applicable criteria.

Given this, this criterion (SDC 5.9-120.C) is met.

**D. Applicable Discretionary Use criteria in other Sections of this Code:**

**1. Wireless telecommunications systems facilities requiring Discretionary Use approval are exempt from Subsections A. - C., above but shall comply with the approval criteria specified in Section 4.3-145.**

This is not a wireless telecommunications facility. This criterion (SDC 5.9-120.D.1) does not apply.

**2. Alternative design standards for multifamily development are exempt from Subsections A. - C., above but shall comply with the approval criteria specified in Section 3.2-245.**

This is not a multifamily development. Thus, this criterion (SDC 5.9-120.D.2) does not apply.

**3. Fences requiring Discretionary Use approval are exempt from Subsections A. - C., above but shall comply with the approval criteria specified in Section 4.4-115C.**

There are no fences associated with this proposal needing Discretionary Use approval. Thus, this criterion (SDC 5.9-120.D.3) does not apply.

**4. The siting of public elementary, middle and high schools requiring Discretionary Use approval is exempt from Subsections A. - C., above but shall comply with the approval criteria specified in Section 4.7-195.**

This is not a proposal to site a public school. Thus, this criterion (SDC 5.9-120.D.4) does not apply.

**IV. Conclusion**

The above information represents known applicable planning, zoning and site development requirements for the contemplated project. It presents known physical conditions and contexts. It captures the project's primary development objective. Based on the information and findings contained in this written statement, associated exhibits and plan set the proposed 57<sup>th</sup> Pump Station and Reservoir Site Improvement project meets the criteria of approval contained in the Springfield Development Code. Therefore, the applicant requests that the City of Springfield approve the proposal. Both the applicant and the applicant's representative are available for questions. We look

Date Received:

forward to working with staff to ensure this project meets the goals and objectives of the applicant and the city.

If you have any questions about the above application, please do not hesitate to contact Rick Satre, AICP, ASLA, CSI, at Schirmer Satre Group, 541-686-4540, or [rick@schirmersatre.com](mailto:rick@schirmersatre.com).

Date Received:

FEB 26 2016

Original Submittal          *WR*



City of Springfield  
 Development Services Department  
 225 Fifth Street  
 Springfield, OR 97477



## Site Plan Review

<b>Application Type</b>		<i>(Applicant: check one)</i>
Site Plan Review Pre-Submittal: <input checked="" type="checkbox"/>	Major Site Plan Modification Pre-Submittal: <input type="checkbox"/>	
Site Plan Review Submittal: <input checked="" type="checkbox"/>	Major Site Plan Modification Submittal: <input type="checkbox"/>	
<b>Required Project Information</b>		<i>(Applicant: complete this section)</i>
<b>Applicant Name:</b> Steven Wages, Project Manager		<b>Phone:</b> 541-726-2396
<b>Company:</b> Springfield Utility Board - Engineering - Water Division		<b>Email:</b> stevenw@subutil.com
<b>Address:</b> 202 South 18th Street, Springfield, OR 97477		
<b>Applicant's Rep.:</b> Richard M. Satre, AICP, ASLA, CSI		<b>Phone:</b> 541-686-4540
<b>Company:</b> Schirmer Satre Group		<b>Email:</b> rick@schirmersatre.co
<b>Address:</b> 375 West 4th Avenue, Suite 201, Eugene, OR 97401		
<b>Property Owner:</b> Raymond Meduna, Director, Water and Electric Div		<b>Phone:</b> 541-726-2396
<b>Company:</b> Springfield Utility Board - Engineering - Water Division		<b>Email:</b>
<b>Address:</b> 202 South 18th Street, Springfield, OR 97477		
<b>ASSESSOR'S MAP NO:</b> See Applic. Narrative		<b>TAX LOT NO(S):</b> See Applic. Narrative
<b>Property Address:</b> Not Addresses		
<b>Size of Property:</b> 9.25	<b>Acres</b> <input checked="" type="checkbox"/> <b>Square Feet</b> <input type="checkbox"/>	<b>Proposed No. of Dwelling Units per acre:</b> None
<b>Proposed Name of Project:</b> 57th Pump Station		
<b>Description of Proposal:</b> If you are filling in this form by hand, please attach your proposal description to this application. Improvements to an existing water reservoir site		
<b>Existing Use:</b> Water reservoir site		
<b>New Impervious Surface Coverage (Including Bldg. Gross Floor Area):</b> 1,140. sf		
<b>Signatures:</b> Please sign and print your name and date in the appropriate box on the next page.		
<b>Required Project Information</b>		<i>(City Intake Staff: complete this section)</i>
<b>Associated Applications:</b> PRE15-00063, TYP316-00001, TYP216-00015, TYP216-00016, PRE15-00035, ANX15-00002		<b>Signs:</b> Yes
<b>Pre-Sub Case No.:</b>	<b>Date:</b>	<b>Reviewed by:</b>
<b>Case No.:</b> TYP216-00014	<b>Date:</b> 2.26.16	<b>Reviewed by:</b> MAM
<b>Application Fee:</b> \$ 4401.	<b>Technical Fee:</b> \$ 220.05	<b>Postage Fee:</b> \$ 163
<b>TOTAL FEES:</b> \$ 4784.05	<b>PROJECT NUMBER:</b> PD15-00017	

**Owner Signatures**

This application form is used for both the required pre-submittal meeting and subsequent complete application submittal. Owner signatures are required at both stages in the application process.

**An application without the Owner's original signature will not be accepted.**

**Pre-Submittal**

The undersigned acknowledges that the information in this application is correct and accurate for scheduling of the Pre- Submittal Meeting. If the applicant is not the owner, the owner hereby grants permission for the applicant to act in his/her behalf. I/we do hereby acknowledge that I/we are legally responsible for all statutory timelines, information, requests and requirements conveyed to my representative.

Owner:

*R. Medina* Date: 10-27-15  
Signature

RAYMOND MEDUNA  
Print

**Submittal**

I represent this application to be complete for submittal to the City. Consistent with the completeness check performed on this application at the Pre-Submittal Meeting, I affirm the information identified by the City as necessary for processing the application is provided herein or the information will not be provided if not otherwise contained within the submittal, and the City may begin processing the application with the information as submitted. This statement serves as written notice pursuant to the requirements of ORS 227.178 pertaining to a complete application.

Owner:

*R. Medina* Date: 2-23-16  
Signature

RAYMOND MEDUNA  
Print

February 26, 2016

**SPRINGFIELD UTILITY BOARD**  
**57<sup>th</sup> Pump Station and Reservoir Site Improvement**  
Map 18-02-03-00, Lots 00800 and 00801 and Map 18-02-04-11, Lot 10900  
**Site Plan Review**

**WRITTEN STATEMENT**

In accordance with Site Plan Review submittal requirements, this written statement describes the proposed development and demonstrates that the proposal complies with the criteria contained in SDC 5.17-100 through 5.17-125. The proposal is submitted concurrently with Discretionary Use and Hillside Overlay District Development applications and a Tree Felling Permit. We request that these applications be processed concurrently.

**I. LAND USE REQUEST**

**A. Development Objective**

The applicant's development objective is to carry out specific renovations to a long-existing Springfield Utility Board reservoir site. The project includes the construction of a new pump station, the installation of new water piping infrastructure, a new access drive and miscellaneous minor site improvements.



Subject Site  
Existing Conditions  
Google Earth 2014

**B. Land Use Request<sup>1</sup>**

In accordance with the results of a Development Issues Meeting the applicant held with the City of Springfield on June 4, 2015 (See City of Springfield Jo. No. PRE15-00024), accomplishing the development objective will require City of Springfield approval of four land use applications, Site Plan Review, Discretionary Use, Hillside Overlay District Development and Tree Felling. Although relating to the same project, each of these have been generated as a complete, stand-alone application including application form, city fee, written statement with findings demonstrating compliance with applicable criteria, exhibits and plans. While each of these is to receive its own decision, to ease the overall process, these four applications are being submitted collectively for concurrent processing. It is intended that this will provide an opportunity for cross-referencing and parallel review and assist the city in rendering a decision. Additional details regarding this proposal are provided on the plans, the remainder of this written statement, and other materials enclosed and attached herewith.

<sup>1</sup> As there are four applications addressing the same project, and the written statements are each complete in and of themselves, the reviewer will find some duplication in written statement contents. Specifically, Part I – Land Use Request, Part II – The Site and Existing Conditions and Part IV – Conclusion and Recommendation are duplicated in each of the statements. Part III – Criteria and Findings is unique to each application.



PLANNERS + LANDSCAPE ARCHITECTS + ENVIRONMENTAL SPECIALISTS

375 West 4th, Suite 201, Eugene, OR 97401  
Phone: 541.686.4540 Fax: 541.686.4577  
www.schirmersatire.com

Date Submitted: \_\_\_\_\_

SCHIRMERSATIRE GROUP

**C. Project Directory**

- |   |  |
|---|--|
| <p>1. Applicant / Property Owner<br/>Steven Wages, Project Manager<br/>Springfield Utility Board<br/>Engineering Department<br/>Water Division<br/>202 South 18<sup>th</sup> Street<br/>Springfield, OR 97477<br/>Voice: 541-726-2396<br/>Fax: 541-747-7348<br/>Email: <a href="mailto:stevenw@subutil.com">stevenw@subutil.com</a></p> | <p>2. Applicant's Representative<br/>Richard M. Satre, AICP, ASLA, CSI<br/>Schirmer Satre Group<br/>375 West 4<sup>th</sup> Avenue, Suite 201<br/>Eugene, OR 97401<br/>Voice: 541-686-4540<br/>Fax: 541-686-4577<br/>Email: <a href="mailto:rick@schirmersatre.com">rick@schirmersatre.com</a></p> |
| <p>3. Professional Design Team</p> <p>a. Planner<br/>Richard M. Satre, AICP, ASLA, CSI<br/>Schirmer Satre Group<br/>375 West 4<sup>th</sup> Avenue, Suite 201<br/>Eugene, OR 97401<br/>Voice: 541-686-4540<br/>Fax: 541-686-4577<br/>Email: <a href="mailto:rick@schirmersatre.com">rick@schirmersatre.com</a></p>                      | <p>c. Civil/Structural Engineer<br/>Tom Ferrell, PE<br/>PACE Engineers, Inc.<br/>5000 Meadows Road, Suite 345<br/>Lake Oswego, OR 97035<br/>Voice: 503-597-3222<br/>Fax: 503-597-7655<br/>Email: <a href="mailto:tomf@paceengrs.com">tomf@paceengrs.com</a></p>                                    |
| <p>b. Landscape Architect<br/>Jeff Sakacsi<br/>Schirmer Satre Group<br/>375 West 4<sup>th</sup> Avenue, Suite 201<br/>Eugene, OR 97401<br/>Voice: 541-686-4540<br/>Fax: 541-686-4577<br/>Email: <a href="mailto:jeffs@schirmersatre.com">jeffs@schirmersatre.com</a></p>  | <p>d. Surveyor<br/>Renee Clough, PE, PLS, AICP<br/>Branch Engineering, Inc.<br/>310 5<sup>th</sup> Street<br/>Springfield, OR 97477<br/>Voice: 541-746-0637<br/>Fax: 541-746-0389<br/>Email: <a href="mailto:renee@branchengineering.com">renee@branchengineering.com</a></p>                      |

**II. THE SITE AND EXISTING CONDITIONS**

**A. Development Site**

The site is known as the South 57th Street Reservoir Site. Initially comprised of two small tax lots (Map 18-02-03-00, Lots 00800 and 00801), the site has recently expanded to include an adjacent tax lot (Map 18-02-04-11, Lot 10900)<sup>2</sup>. Thus, the subject property is now comprised of three abutting tax lots and is approximately 9.25 acres in size.

Existing improvements to the original two tax lots include two reservoirs and associated water facility infrastructure. The recently acquired tax lot is unimproved, but for a gravel access drive to the reservoir site. The property is located in the southeast area of Springfield, in what is commonly referred to as the Thurston neighborhood.

The 57<sup>th</sup> Pump Station and Reservoir Site is a forested, west-facing hillside. Elevations range from approximately 560 feet elevation near the southwest corner, along Mountain Gate Drive, to approximately 700 feet elevation in the northeast corner, behind the existing reservoirs. Slopes range from a shallow 5 to 10 percent near the base of the reservoirs to upwards of 30 to 40 percent elsewhere. Access is by way of a gravel access drive extending from Mountain Gate

<sup>2</sup> This recently acquired tax lot was formerly 10-lot component of the adjacent subdivision, MountainGate West. The 10 lots have recently been replatted (City of Springfield Jo. No. TYP115-00041) and the formerly dedicated right-of-way within this 10-lot area (South 59<sup>th</sup> Street) has recently been vacated (City of Springfield Jo. No. TYP415-00003).

Date Received:

FEB 26 2016

Original Submittal *gm*



- The City of Springfield *Conceptual Local Street Plan* shows proposed future streets within Springfield's jurisdiction. The plan is illustrative only. Definitive information regarding planned streets can be found in *TransPlan*. Nonetheless, the *Conceptual Local Street Plan* does illustrate a few streets in the vicinity of the subject property. There are none near the 57<sup>th</sup> Street site.



Conceptual Local Street Plan Excerpt  
City of Springfield  
August 2012

- c. Public Transit.
  - There is no public transit service in the vicinity of either reservoir site.
- 3. Utilities.
  - a. Stormwater.
    - The *Springfield Stormwater Facilities Master Plan* shows the subject property as being in the Weyerhaeuser Outfall Stormwater Basin (Figure 2-2). The *Master Plan* documents a nearby Priority CIP, the 59th-Daisy-Aster Street stormwater improvement project (Figure 5-1), but nothing adjacent to or having an effect on the site.

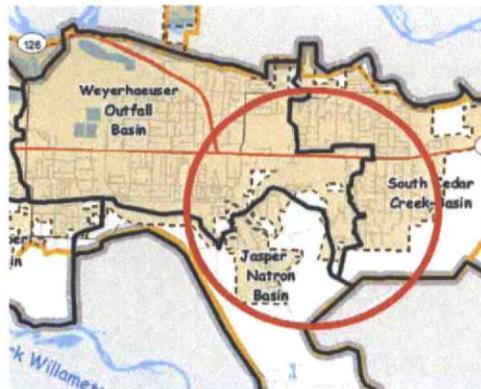


Fig 2-2 Basin Map Excerpt  
Stormwater Facilities Master Plan  
City of Springfield  
October 2008

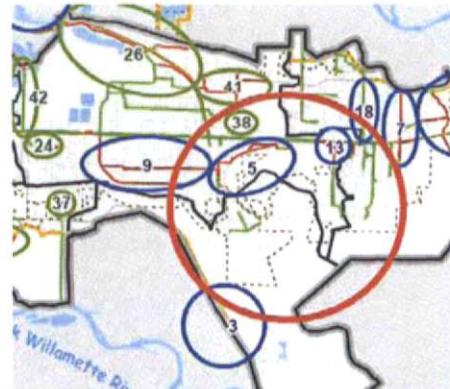


Fig 5-1 Capital Improvement Map Excerpt  
Stormwater Facilities Master Plan  
City of Springfield  
October 2008

Date Received:

FEB 26 2016

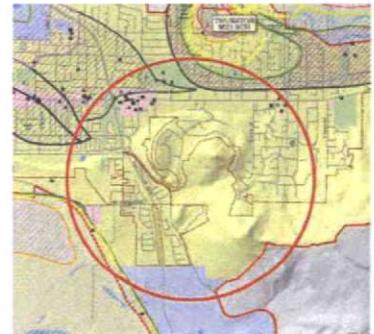
Original Submittal *SR*

- The Subject Property has nearby stormwater infrastructure. The 57<sup>th</sup> Street site, being bordered by partially improved residential property to the north and west and unimproved park land to the east, does not have any immediately adjacent stormwater infrastructure. There is storm infrastructure a short distance to the south however, in Mountain Gate Drive. Should the collection and conveyance of stormwater off site be necessary, the existing 15-inch public stormwater facility in Mountain Gate Drive is available.



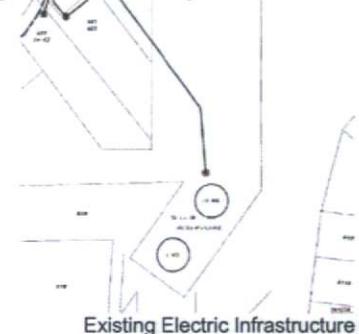
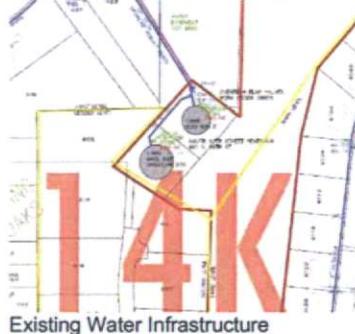
Subject Site  
Existing Storm and Sanitary Infrastructure  
City of Springfield  
May 2009

- b. Wastewater.
  - The 57<sup>th</sup> Street site has wastewater infrastructure available in Mountain Gate Drive. Here, too, should the collection and conveyance of wastewater off site be necessary, the existing 8-inch facility in Mountain Gate Drive is available.
- c. Wellhead Protection.
  - The subject site is not within a wellhead protection area, nor are there any protection areas near the subject property.



Wellhead Protection Areas Map Excerpt  
City of Springfield and Springfield Utility Board  
January 2013

- d. Water and Electric.
  - Existing water and electric infrastructure is on and adjacent to the subject site.



Date Received:

FEB 26 2016

4. Natural Resources.
  - a. Springfield Natural Resources Study.
    - The Springfield Natural Resource Study Report does not identify any resources on or near the site that would be impacted by the proposed development.

- b. Springfield Wetland Inventory / Water Quality Limited Watercourses (WQLW)

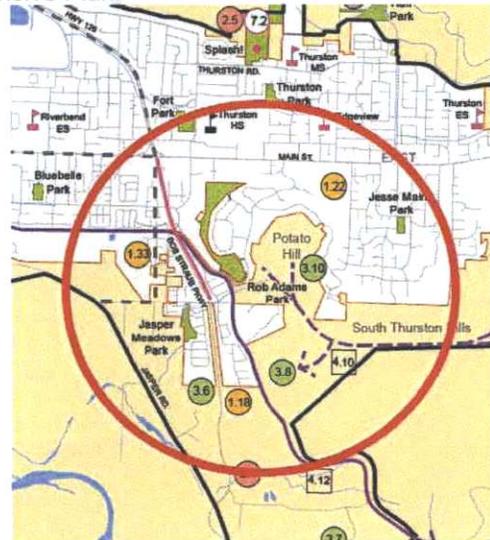
- Neither the National Wetlands Inventory nor the Local Wetlands Inventory document the presence of jurisdictional wetlands on or adjacent to the subject property.
- Springfield's Water Quality Limited Watercourses inventory documents that there are no WQLW features on or adjacent to the subject property.



Wetland Inventory Map Excerpt  
City of Springfield  
July 2010

5. Parks and Open Space.
  - a. Willamalane Park and Recreation Comprehensive Plan.

- The *Willamalane Park and Recreation District Comprehensive Plan's Proposed Park and Recreation Projects Map* includes an area of parkland adjacent to the 57<sup>th</sup> Street site. This has been acquired by Willamalane. The Comprehensive Plan lists this area as open space and does not include and improvements to the property.



Park and Recreation Projects Map Excerpt  
Willamalane Park and Recreation District  
October 2012

### III. SITE PLAN REVIEW – APPROVAL CRITERIA AND FINDINGS

This section is presented in the same order of applicable requirements found in Section 5.17-125, Site Plan Review Criteria of the Springfield Development Code. Applicable sections of the Code are in ***bold italics***, followed by proposed findings in normal text.

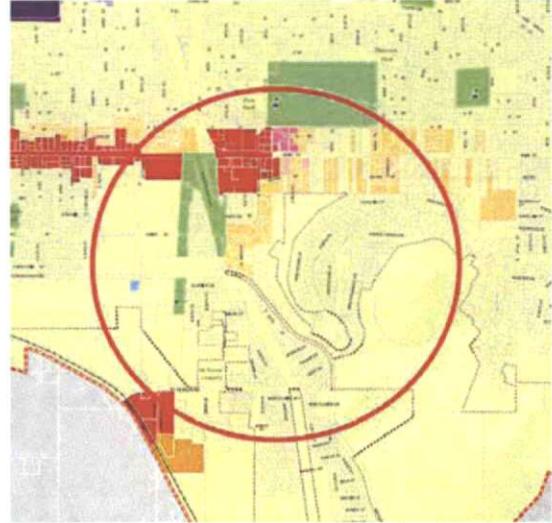
***A. The zoning is consistent with the Metro Plan diagram, and/or the applicable Refinement Plan diagram, Plan District map, and Conceptual Development Plan.***

There is no applicable refinement plan diagram, plan district map or conceptual development plan for the subject site.

Date Received:



Metro Plan Diagram Excerpt  
Lane Council of Governments  
December 2010



Zoning Map Excerpt  
City of Springfield  
May 2014

As for the Metro Plan diagram, we all know that the diagram is not tax lot specific, and many local streets and other identifying features are absent from the diagram. Thus it is at times a challenge to locate a particular property. However, we have the benefit of the Springfield Zoning Map. As the zoning map includes more detail – primarily tax lots – we can use the zoning map to help locate the property on the Metro Plan diagram. Thus, for the subject property, we can confirm that the property's zoning – Low Density Residential – is consistent with the Metro Plan diagram.

In this regard, this criterion (SDC 5.17-125.A) is met.

- B. Capacity requirements of public and private facilities, including, but not limited to, water and electricity; sanitary sewer and stormwater management facilities; and streets and traffic safety controls shall not be exceeded and the public improvements shall be available to serve the site at the time of development, unless otherwise provided for by this Code and other applicable regulations. The Public Works Director or a utility provider shall determine capacity issues.**

The site is an existing public utility facility. It is not inhabited with any dwelling units, offices or other buildings regularly occupied by people. There is no need for the full suite of utility facilities. Nonetheless, public and private facilities are provided as follows:

**Storm:** Public stormwater infrastructure exists in Mountain Gate Drive along the subject property's south boundary.

**Sanitary:** Similarly, 57<sup>th</sup> Street has wastewater



Date Received:

infrastructure available in Mountain Gate Drive.

Water: Water infrastructure is available on site.

Electric: Electric infrastructure is available on site.

Streets: Mountain Gate Drive abuts the subject property's southern boundary.

Given this, this criterion (SDC 5.17-125.B) is met.

**C. The proposed development shall comply with all applicable public and private design and construction standards contained in this Code and other applicable regulations.**

SDC Chapter 4 Development Standards addresses general development standards that are applicable to the project. These, and project responses in compliance with those standards, include the following:

**1. 4.2-120.C Driveway Design.**

- a. **Width: 12 feet minimum, 24 feet maximum.**
- b. **Proximity: Minimum 30 feet from intersection.**

In compliance with staff comments at the project's pre-submittal meeting, the project includes the installation of a new driveway in compliance with City of Springfield standard drawing 3-10. Thus, this standard (SDC 5.17-125.C.1) is met.

**2. 4.2-130 Vision Clearance.**

- a. **A triangle measuring a minimum of 10 feet along the front property line and 10 feet driveway depth, wherein no vegetation, fencing of other sight-obscuring elements between 2-1/2 feet and 8 feet above ground.**

As the proposed improvements are constructed, a 10-foot by 10-foot minimum vision clearance triangle will be provided at both sides of the driveway. Therefore, this standard (SDC 5.17-125.C.2) is met.

**3. 4.2-140 Street Trees.**

- a. **Existing street trees are to be retained. If removed, they must have a permit to do so and be replaced with a new tree.**

There are no existing street trees. None will be removed. None are proposed. Therefore, this standard does not apply.

**4. 4.3-100 Utilities.**

- a. **All development within the city limits shall have access to all required utilities, including sanitary and stormwater. Utility placement is to be coordinated between the city, the applicant and the utility providers. All new utilities are to be placed underground. Utility easements as required.**

As noted in criteria B above, sanitary and storm facilities are immediately adjacent to the subject property. Sanitary is not needed. Stormwater will be managed in accordance with the City of Springfield Engineering Design Standards and Procedures Manual (EDSPM). In that regard, runoff from impervious surfaces will be managed on-site, with the majority of the runoff sheet draining off the edge of the on-site roadway and draining into a roadside swale. Most of that runoff will infiltrate into the ground. To the degree

Date Received:

that some of the runoff does not infiltrate, as the swale nears Mountain Gate Drive, runoff will be collected into a pipe and be directed into existing stormwater infrastructure in the street.

Electrical and water infrastructure exists on the site and is available as needed for the project.

All new utilities will be located in coordination with utility providers and placed underground, in easements where required. Given this, this standard (SDC 5.17-125.C.4) is met.

**5. 4.4-100 Landscaping, Screening and Fencing.**

- a. **The proposal shall meet the standards of Section 4.4-105 Landscaping, Section 4.4-110 Screening and Section 4.4-115 Fences.**

Section 4.4-105 Landscaping – Required setbacks include 10 feet at the front and rear lot lines and 5 feet at interior side yards. Existing and proposed improvements are located well away from adjacent lot lines, far exceeding minimum setbacks. As the site is heavily wooded, and setback areas will not be disturbed, setback landscaping is satisfied with the existing woodland vegetation.

Interior to the site, there will be some disturbed areas as the pump station, on-site roadway and utility infrastructure is constructed. These areas will be landscaped. A minimum of 65% of required planting areas will be covered with living plant material within 5 years of installation. Disturbed areas will be planted with native meadow grasses, those tolerant of a shaded environment and not needing to be mowed. New meadow grass areas will be drought resistant and not need irrigation.

There will be some areas of tree removal. These will be interior to the site, where the new pump house and roadway are to be constructed. To the degree these areas will be visible to adjacent properties or the street, new trees will be installed. These will be native trees. If a deciduous species, they will be not less than 6 feet in height. If coniferous, they will be not less than 4 feet in height. Where trees are installed, an irrigation tube time-release watering system will be provided for the new trees.

Section 4.4-110 Screening – Screening is required for major public facilities. Vegetative screening will be utilized. This vegetative screen will be comprised of existing dense wooded area on the site.

Along the southwest and western boundaries of the site, where site disturbance may be visible, new trees will be planted.



New Trees will Provide Screening where Required

Existing Trees Provide Required Screening

Plans Received:

Section 4.4-115 Fences – Existing improvements on the subject property (the two water reservoirs) is currently fenced with a chain link fence. The new pump house area will be fenced.

Given the above, this standard (SDC 5.17-125.C.5) is met.

**6. 4.6-100 Vehicle Parking, Loading and Bicycle Standards.**

**a. The proposal will meet the standards of Section 4.6-105 through 4.6-125 Vehicle Parking, Section 4.6-130 through 4.6-135 Loading Areas and Section 4.6-140 through 4.6-155 Bicycle Parking.**

Section 4.6-105 through 4.6-125 Vehicle Parking – This is a major public utility facility. It is not open to the public. There are no customers or visitors. The only vehicles that will be accessing the site will be maintenance and repair vehicles from the utility facility owner or contractors. There is no parking needed. Thus this standard does not apply.

Section 4.6-130 through 4.6-135 Loading Areas – The need isn't so much for loading areas as it is for staging areas for on-site work activity. In this regard, gravel surface area is provided around the existing water tanks and new pump house. These areas meet or exceed the minimum width of 10 feet, minimum length of 25 feet and minimum clear vertical height of 14 feet. In this regard, this standard is met.

Section 4.6-140 through 4.6-155 Bicycle Parking – This facility is not open to the public. Individuals accessing the site will be utility employees or contractors in maintenance and repair vehicles. There is no demand for bicycle parking. Thus, this standard does not apply.

Given this, this standard (SDC 5.17-125.C.6) is met.

Given the above, this criterion (SDC 5.17-125.C) is met.

**D. Parking areas and ingress-egress points have been designed to: facilitate vehicular traffic, bicycle and pedestrian safety to avoid congestion; provide connectivity within the development area and to adjacent residential areas, transit stops, neighborhood activity centers, and commercial, industrial and public areas; minimize driveways on arterial and collector streets as specified in this Code or other applicable regulations and comply with the ODOT access management standards for State highways.**

The facility does not front on or take access from an ODOT facility, collector or arterial (Mountain Gate Drive is a City of Springfield Local Street). The proposed driveway meets intersection standards. Sidewalk either exists or will exist upon project completion. Bicycle and transit facilities do not exist in the immediate neighborhood and no demand for such will be generated by this development. Therefore, this criterion (SDC 5.17-125.D) is met.

**E. Physical features, including, but not limited to: steep slopes with unstable soil or geologic conditions; areas with susceptibility of flooding; significant clusters of trees and shrubs; watercourses shown on the WQLW Map and their associated riparian areas; other riparian areas and wetlands specified in Section 4.3-117; rock outcroppings; open spaces; and areas of historic and/or archaeological significance, as may be specified in Section 3.3-900 or ORS 97.740-760, 358.905-955 and 390.235-240, shall be protected as specified in this Code or in State or Federal law.**

Date Received:





# SPRINGFIELD UTILITY BOARD 57TH PUMP STATION & RESERVOIR SITE IMPROVEMENT

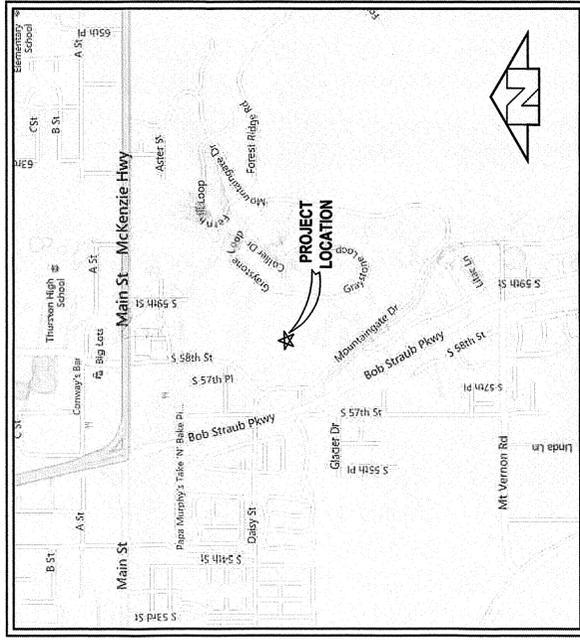
LOCATED IN  
SPRINGFIELD, OREGON

SUB PROJECT NO. 14804/15801  
APRIL 2016



## SPRINGFIELD UTILITY BOARD

WATER DIVISION  
202 SOUTH 18TH STREET  
SPRINGFIELD, OREGON 97477  
PHONE: 541.744.3728  
FAX: 541.746.0230  
CONTACT: STEVEN WAGES, PROJECT MGR.



VICINITY MAP

NOT TO SCALE

### PROJECT TEAM

**ARCHITECT/CIVIL/STRUCTURAL**  
PACE ENGINEERS, INC.  
5000 MEADOWS ROAD, SUITE 345  
LAKE OSWEGO, OREGON 97035  
PHONE: 503.597.3222  
FAX: 503.597.7665  
CONTACT: JIM SHAFER, PE

**PROCESS ENGINEER**  
SPRINGFIELD UTILITY BOARD  
202 S. 18TH STREET  
SPRINGFIELD, OREGON 97477  
PHONE: 541.746.8451  
FAX: 541.746.0230  
CONTACT: BART MCKEE, PE

**ELECTRICAL ENGINEER**  
OS ENGINEERING  
1919 LAURA STREET  
SPRINGFIELD, OR 97477  
PHONE: 541.393.3345  
FAX: 541.505.8917  
CONTACT: JEFF TEEL, PE

**LANDSCAPE ARCHITECT**  
SCHIRMER SATRE GROUP  
375 W. 4TH, SUITE 201  
EUGENE, OR 97401  
PHONE: 541.686.4540  
FAX: 541.686.4577  
CONTACT: RICHARD SATRE, LA

### SHEET INDEX

GENERAL SHEETS  
TITLE SHEET & VICINITY MAP  
CIVIL SHEETS  
EXISTING CONDITIONS PLAN  
SITE & GRADING PLAN  
ROAD PROFILE  
WATER CONTROL PLAN  
WATER PLAN  
ROAD DETAILS  
STORM DETAILS  
WATER DETAILS  
TESC DETAILS  
SITE DETAILS  
ARCHITECTURAL SHEETS  
FLOOR PLAN  
BUILDING ELEVATIONS

G1  
C1  
C2  
C3  
C4  
C5  
C6  
C7  
C8  
C9  
C10  
C11  
A1  
A2

SURVEY PROVIDED BY OTHERS:  
THE BOUNDARY, TOPOGRAPHIC INFORMATION AND MAP  
FEATURES SHOWN HEREON WERE PROVIDED BY THE CLIENT.  
PACE ENGINEERS ASSUMES NO LIABILITY FOR THE ACCURACY OR  
COMPLETENESS NOR ASSUMES ANY LIABILITY FOR ITS USE.

60% SUBMITTAL  
THESE DOCUMENTS HAVE BEEN REVIEWED BY:  
NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

File copy  
TIP210-00014  
Site Plan Review  
Springfield Utility Board

Date Received:  
FEB 26 2016  
Original Submittal: SMA

Pg 1 of 14

<p>5000 Meadows Road, Suite 345 Lake Oswego, OR 97035 p: 503.597.3222   f: 503.597.7655 paceengr.com</p>	<p>DATE: 2/3/16 DRAWN BY: MA ENGINEER: TF DIST. MAP: 14C PROJECT NO.: 15847</p>	<p>57TH PUMP STATION TITLE SHEET &amp; VICINITY MAP</p>	<p>DATE: 2/3/16 DRAWN BY: MA ENGINEER: TF DIST. MAP: 14C PROJECT NO.: 15847</p>	<p>DATE: _____ REVISIONS</p>	<p>DATE: _____ SUB W.O.#: 14804/15801</p>	<p>SCALE: N.T.S.</p>	<p>DATE: _____ DRAWING NUMBER</p>	<p>G1</p>	<p>SHEET: 1 of 1</p>
	<p>BAR IS ONE INCH ON ORIGINAL DRAWING</p>	<p>DATE: _____ SUB W.O.#: 14804/15801</p>	<p>DATE: _____ SUB W.O.#: 14804/15801</p>	<p>DATE: _____ SUB W.O.#: 14804/15801</p>	<p>DATE: _____ SUB W.O.#: 14804/15801</p>	<p>DATE: _____ SUB W.O.#: 14804/15801</p>	<p>DATE: _____ SUB W.O.#: 14804/15801</p>	<p>DATE: _____ SUB W.O.#: 14804/15801</p>	<p>DATE: _____ SUB W.O.#: 14804/15801</p>

File Copy  
TYP216-00014  
Site Plan Review  
Springfield Utility Board



DRAWING NUMBER  
**C1**  
SHEET: 1 of 11



# 57TH PUMP STATION EXISTING CONDITIONS PLAN

SCALE: 1"=40'  
DATE: 2/3/16  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847

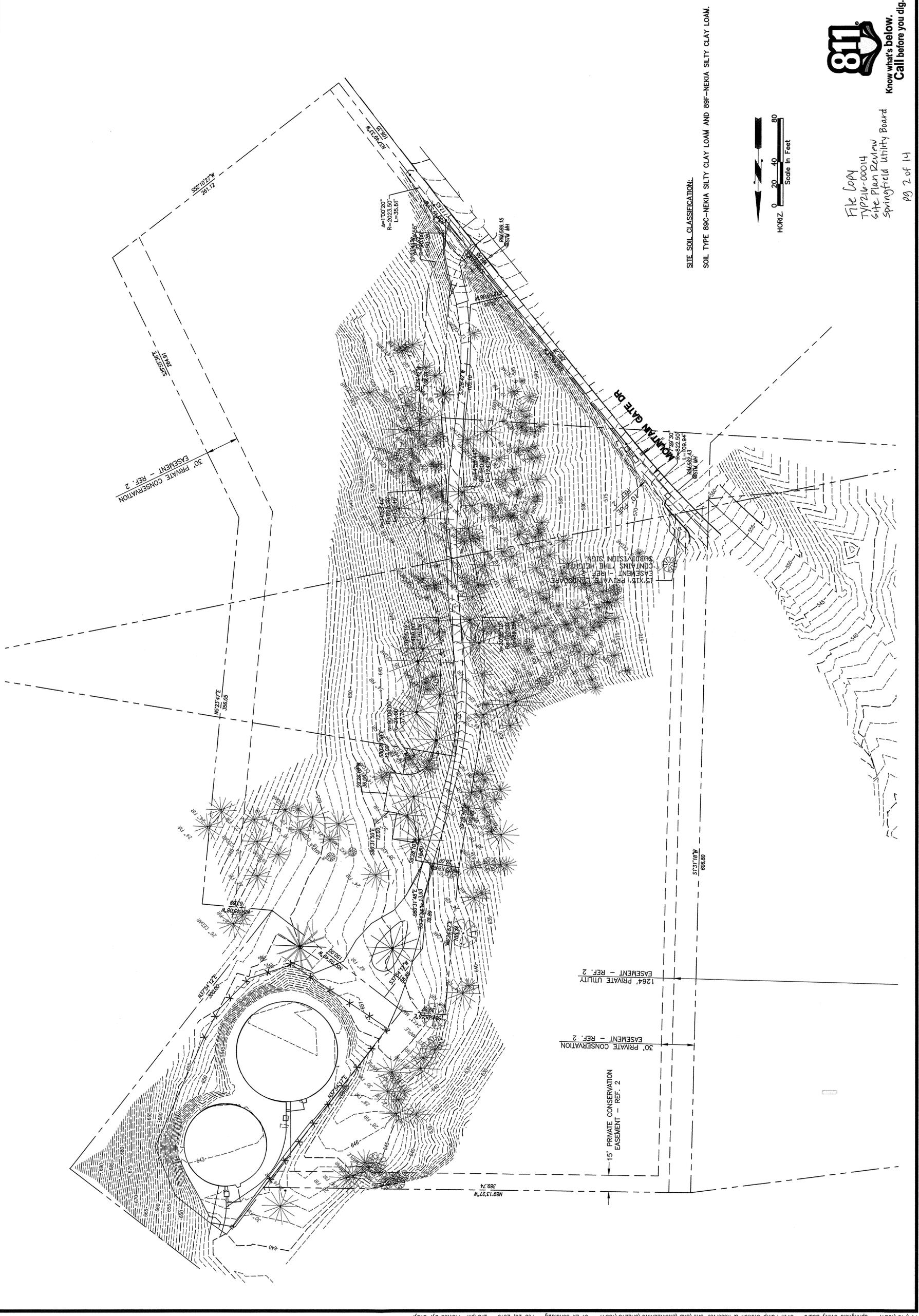
REVISIONS	DATE

SUB W.O.#: 14804/15801  
DATE:  

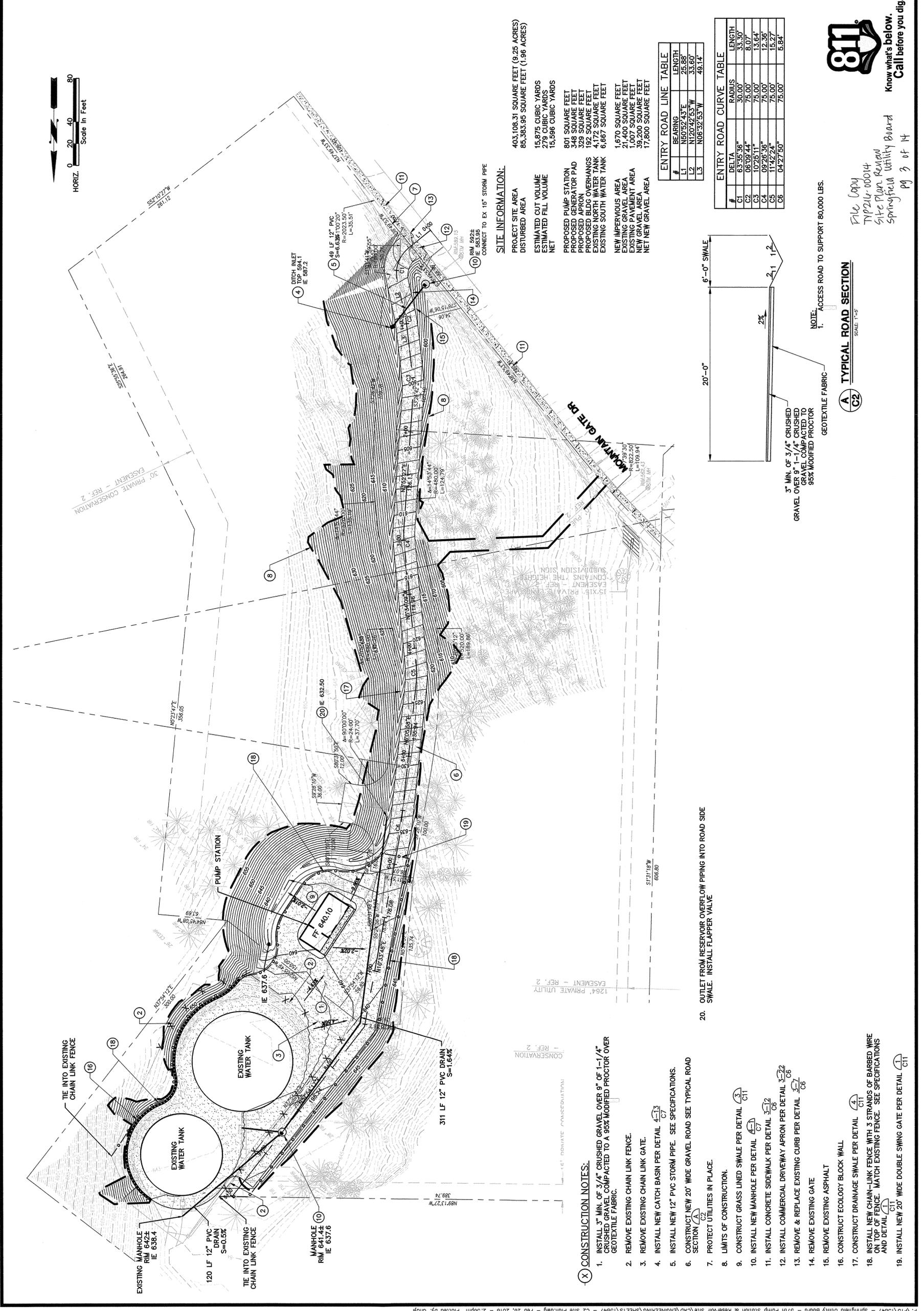
BAR IS ONE INCH ON ORIGINAL DRAWING

**PACE**  
An Engineering Services Company  
5000 Meadows Road, Suite 345  
Lake Oswego, OR 97035  
P: 503.597.3222 | F: 503.597.7665  
paceengr.com

Civil | Structural | Planning | Survey



P:\P15\15847 - Springfield Utility Board - 57th Pump Station & Reservoir Site\CAD\ENGINEERING\SHEETS\15847 - C1 Ex Cond.dwg - Feb 26, 2016 - 2:54pm Plotted by: andr



**SITE INFORMATION:**  
 PROJECT SITE AREA  
 403,108.31 SQUARE FEET (9.25 ACRES)  
 DISTURBED AREA  
 85,383.95 SQUARE FEET (1.96 ACRES)  
 ESTIMATED CUT VOLUME  
 15,875 CUBIC YARDS  
 ESTIMATED FILL VOLUME  
 279 CUBIC YARDS  
 NET  
 15,596 CUBIC YARDS

PROPOSED PUMP STATION  
 801 SQUARE FEET  
 PROPOSED PAVEMENT FOR PAD  
 328 SQUARE FEET  
 PROPOSED APRON FOR PAD  
 328 SQUARE FEET  
 PROPOSED BLDG OVERHANGS  
 192 SQUARE FEET  
 EXISTING NORTH WATER TANK  
 4,172 SQUARE FEET  
 EXISTING SOUTH WATER TANK  
 6,667 SQUARE FEET

NEW IMPERVIOUS AREA  
 1,670 SQUARE FEET  
 EXISTING GRAVEL AREA  
 21,400 SQUARE FEET  
 EXISTING PAVEMENT AREA  
 1,007 SQUARE FEET  
 NET NEW GRAVEL AREA  
 59,200 SQUARE FEET  
 NET NEW PAVEMENT AREA  
 17,600 SQUARE FEET

**ENTRY ROAD LINE TABLE**

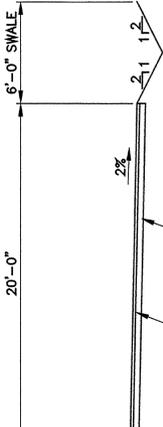
#	BEARING	LENGTH
L1	N60°52'43"E	25.88'
L2	N120°42'53"W	33.60'
L3	N06°32'53"W	49.14'

**ENTRY ROAD CURVE TABLE**

#	DELTA	RADIUS	LENGTH
C1	63°35'36"	30.00'	33.30'
C2	06°09'44"	75.00'	8.07'
C3	10°25'11"	75.00'	13.64'
C4	09°26'36"	75.00'	12.36'
C5	11°42'24"	75.00'	15.27'
C6	04°27'50"	75.00'	5.84'



File Copy  
 TYP214-00014  
 Site Plan Review  
 Springfield Utility Board  
 pg 3 of 14



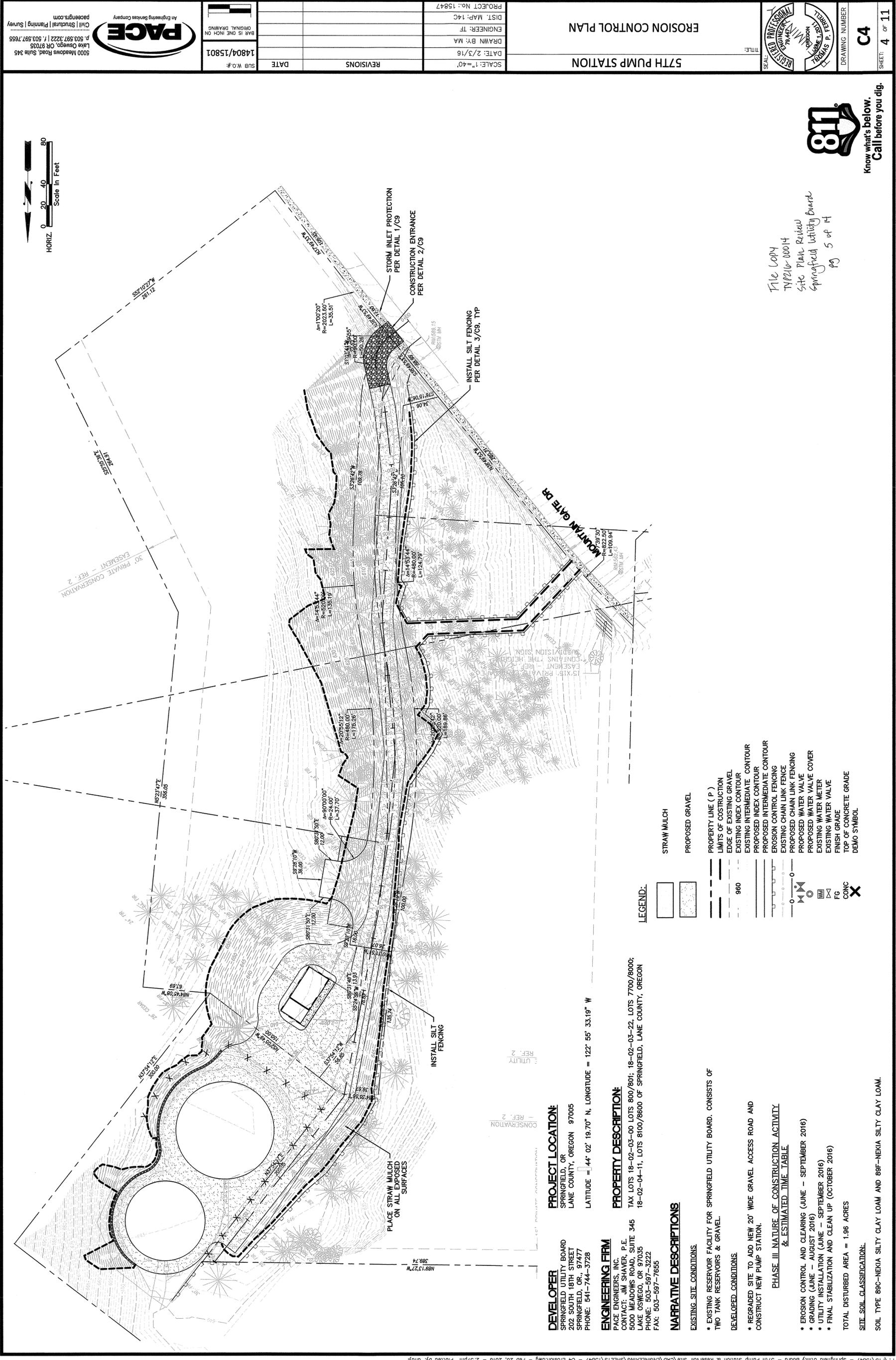
NOTE:  
 1. ACCESS ROAD TO SUPPORT 80,000 LBS.  
 GEOTEXTILE FABRIC

**A TYPICAL ROAD SECTION**  
 SCALE: 1"=6'

- CONSTRUCTION NOTES:**
- INSTALL 3" MIN. OF 3/4" CRUSHED GRAVEL OVER 9" OF 1-1/4" CRUSHED GRAVEL. ALL GRAVEL COMPACTED TO A 95% MODIFIED PROCTOR OVER GEOTEXTILE FABRIC.
  - REMOVE EXISTING CHAIN LINK FENCE.
  - REMOVE EXISTING CHAIN LINK GATE.
  - INSTALL NEW CATCH BASIN PER DETAIL 4-13 C11
  - INSTALL NEW 12" PVC STORM PIPE. SEE SPECIFICATIONS.
  - CONSTRUCT NEW 20' WIDE GRAVEL ROAD SEE TYPICAL ROAD SECTION C2
  - PROTECT UTILITIES IN PLACE.
  - LIMITS OF CONSTRUCTION.
  - CONSTRUCT GRASS LINED SWALE PER DETAIL 3-1 C11
  - INSTALL NEW MANHOLE PER DETAIL 4-7 C11
  - INSTALL CONCRETE SIDEWALK PER DETAIL 3-22 C6
  - INSTALL COMMERCIAL DRIVEWAY APRON PER DETAIL 3-22 C6
  - REMOVE & REPLACE EXISTING CURB PER DETAIL 3-27 C6
  - REMOVE EXISTING GATE
  - REMOVE EXISTING ASPHALT
  - CONSTRUCT ECOLOGY BLOCK WALL
  - CONSTRUCT DRAINAGE SWALE PER DETAIL 4-1 C11
  - INSTALL NEW CHAIN-LINK FENCE WITH 3 STRANDS OF BARBED WIRE ON TOP OF FENCE. MATCH EXISTING FENCE. SEE SPECIFICATIONS AND DETAIL 1-1 C11
  - INSTALL NEW 20' WIDE DOUBLE SWING GATE PER DETAIL 1-1 C11

20. OUTLET FROM RESERVOIR OVERFLOW PIPING INTO ROAD SIDE SWALE. INSTALL FLAPPER VALVE





File copy  
TYP210-00014  
Site Plan Review  
Springfield Utility Board  
pg 5 of 14



Know what's below.  
Call before you dig.

DATE RECEIVED:  
FEB 26 2016  
ORIGINAL SUBMITTAL: 15/11

57TH PUMP STATION  
EROSION CONTROL PLAN  
SCALE: 1"=40"  
DATE: 2/3/16  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847

14804/15801  
SUB W.O.#:  
DATE  
REVISIONS  
BAR IS ONE INCH ON ORIGINAL DRAWING  
PACE  
An Engineering Services Company  
Civil | Structural | Planning | Survey  
5000 Meadows Road, Suite 345  
Lake Oswego, OR 97035  
P: 503.597.3222 | F: 503.597.7655  
paceengineers.com

**DEVELOPER**  
SPRINGFIELD UTILITY BOARD  
202 SOUTH 18TH STREET  
SPRINGFIELD, OR., 97477  
PHONE: 541-744-3728

**ENGINEERING FIRM**  
PACE ENGINEERS, INC.  
CONTACT: JIM SHAWER, P.E.  
5000 MEADOWS ROAD, SUITE 345  
LAKE OSWEGO, OR 97035  
PHONE: 503-597-3222  
FAX: 503-597-7655

**PROJECT LOCATION:**  
SPRINGFIELD, OR  
LANE COUNTY, OREGON 97005  
LATITUDE = 44° 02' 19.70" N, LONGITUDE = 122° 55' 33.19" W

**PROPERTY DESCRIPTION:**  
TAX LOTS 18-02-03-00 LOTS 800/801; 18-02-03-22 LOTS 7700/8000;  
18-02-04-11, LOTS 8100/8600 OF SPRINGFIELD, LANE COUNTY, OREGON

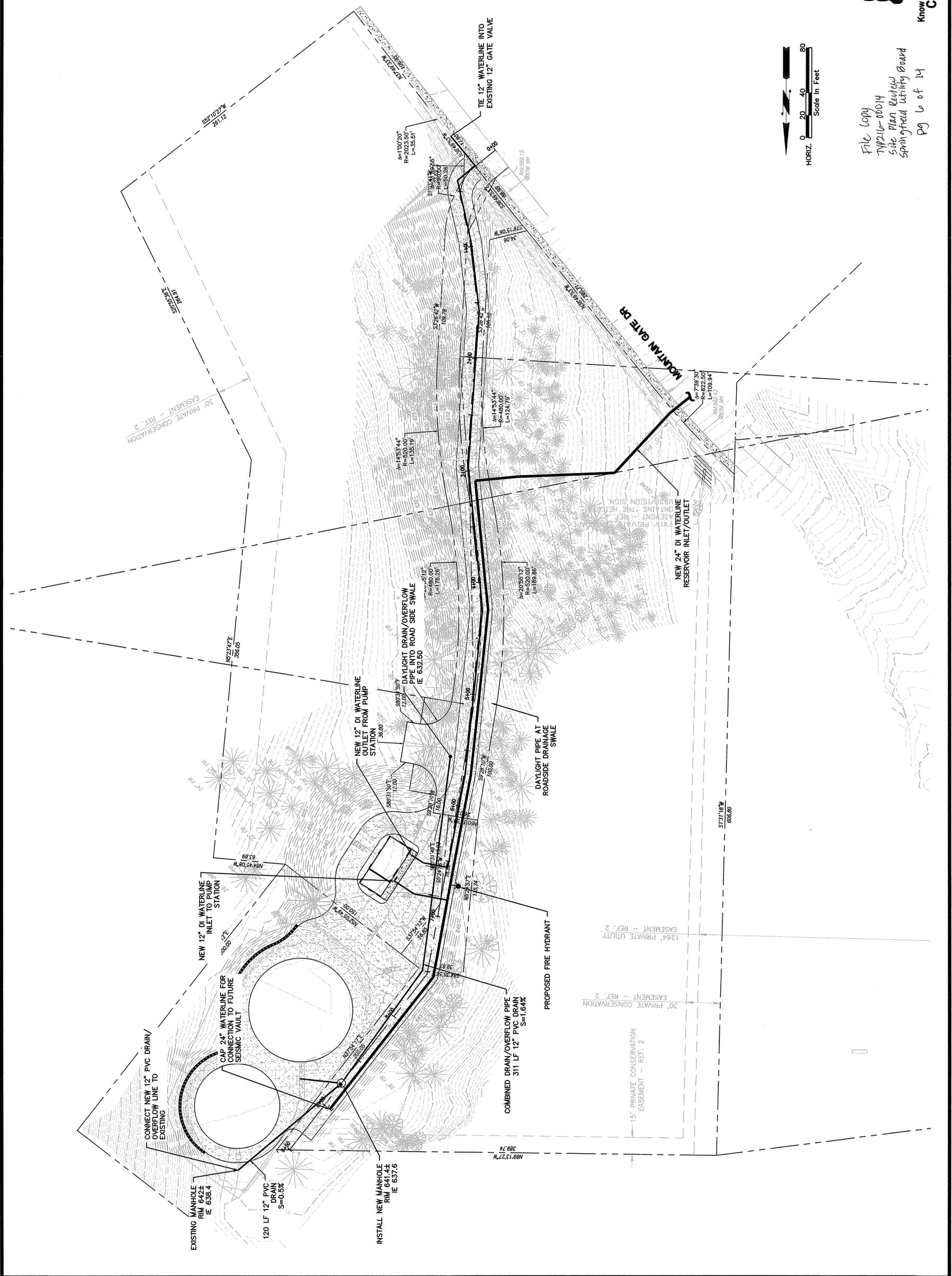
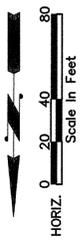
**NARRATIVE DESCRIPTIONS**  
**EXISTING SITE CONDITIONS**  
\* EXISTING RESERVOIR FACILITY FOR SPRINGFIELD UTILITY BOARD. CONSISTS OF TWO TANK RESERVOIRS & GRAVEL.  
**DEVELOPED CONDITIONS**  
\* REGRADED SITE TO ADD NEW 20' WIDE GRAVEL ACCESS ROAD AND CONSTRUCT NEW PUMP STATION.  
**PHASE III NATURE OF CONSTRUCTION ACTIVITY & ESTIMATED TIME TABLE**  
\* EROSION CONTROL AND CLEARING (JUNE - SEPTEMBER 2016)  
\* GRADING (JUNE - AUGUST 2016)  
\* UTILITY INSTALLATION (JUNE - SEPTEMBER 2016)  
\* FINAL STABILIZATION AND CLEAN UP (OCTOBER 2016)  
TOTAL DISTURBED AREA = 1.96 ACRES  
**SITE SOIL CLASSIFICATION:**  
SOIL TYPE 89C-NERIA SILTY CLAY LOAM AND 89F-NERIA SILTY CLAY LOAM.

- LEGEND:**
- STRAW MULCH
  - PROPOSED GRAVEL
  - PROPERTY LINE ( P )
  - LIMITS OF CONSTRUCTION
  - EDGE OF EXISTING GRAVEL
  - EXISTING INDEX CONTOUR
  - PROPOSED INTERMEDIATE CONTOUR
  - PROPOSED INDEX CONTOUR
  - EROSION CONTROL FENCING
  - EXISTING CHAIN LINK FENCE
  - PROPOSED WATER VALVE
  - PROPOSED WATER VALVE COVER
  - EXISTING WATER METER
  - EXISTING WATER VALVE
  - FINISH GRADE
  - TOP OF CONCRETE GRADE
  - DEMO SYMBOL

P:\P15\15847 - Springfield - Springfield Utility Board - 57th Pump Station & Reservoir Site\CAD\ENGINEERING\SHEETS\15847 - C4 Erosion.dwg - Feb 26, 2016 - 2:57pm Plotted by: andy



File copy  
 TYP210-00014  
 Site Plan Review  
 Springfield Utility Board  
 pg 6 of 14



P:\15\15847 - Springfield Utility Board - 57th Pump Station & Reservoir Site\CAD\ENGINEERING\SHETS\15847 - C5 Water Plan.dwg - Feb 26, 2016 - 2:56pm Plotted by: andy

### CONSTRUCTING THE DRIVEWAY APPROACH

- IF SIDEWALK EXITS, REMOVE AND REPLACE A SUITABLE AMOUNT OF PAVEMENT TO SET THE DRIVEWAY ON A SLOPE OF 1% TO 2%.
- REMOVE THE TOP 4" OF EXISTING DRIVEWAY AND PLACE 4" OF 3000 PSI CONCRETE.
- IF IN CONJUNCTION WITH SIDEWALK CONSTRUCTION, DRIVEWAY SHALL MEET SIDEWALK GRADE.
- IF FUTURE SIDEWALKS ARE TO BE BUILT, THE DRIVEWAY APPROACH SHALL BE PLACED AT THE PROPOSED LINE AND TO THE FUTURE SIDEWALK GRADE.
- PORTLAND CEMENT CONCRETE DRIVEWAY APPROACH TO BE PLACED AT THE ESTABLISHED GRADE SET BY THE ENGINEER.

**COMMERCIAL DRIVEWAY - 35' FOOT MAXIMUM**

**INDUSTRIAL REINFORCED DRIVEWAY**

NOTE: CONCRETE DRIVEWAY WITHIN LINES PERPENDICULAR TO CURB LINE AND PASSING THROUGH LOT CORNERS.

CONCRETE SIDEWALK FIELD STRENGTH LAB STRENGTH 3500 PSI 4025 PSI

DATE: 2/3/16  
SCALE: 1"=40'  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847

### CURB REPLACEMENT WITH STANDARD CURB

- SAWCUT 4" DEEP AS CLOSE TO CURB AS PRACTICABLE.
- REMOVE CURB.
- REMOVE APPROACH.

DRILL 3/4" x 4 1/2" HOLES INTO EXISTING CURB BAR AT 4' O.C. REBAR INTO HOLE PRIOR TO POURING NEW CURB.

**CONCRETE SIDEWALK FIELD STRENGTH LAB STRENGTH 3500 PSI 4025 PSI**

DATE: 2/3/16  
SCALE: 1"=40'  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847

### ASPHALT CONCRETE PAVEMENT

CONSTRUCTION THICKNESS IDENTIFIED ON THESE SECTIONS ARE THE MINIMUMS FOR HOT EMULSION CONCRETE SURFACES. THE CITY INSPECTOR MAY REQUIRE AN ADDITIONAL 1/2" MINUS CRUSHED ROCK TO BE PLACED UNDER THE SURFACE.

**PORTLAND CEMENT CONCRETE PAVEMENT**

CONSTRUCTION THICKNESS IDENTIFIED ON THESE SECTIONS ARE THE MINIMUMS FOR HOT EMULSION CONCRETE SURFACES. THE CITY INSPECTOR MAY REQUIRE AN ADDITIONAL 1/2" MINUS CRUSHED ROCK TO BE PLACED UNDER THE SURFACE.

CONCRETE PAVEMENT JOINTING NOTES:  
REFER TO STANDARD DRAWING 3-3 FOR JOINTING DETAILS.

DATE: 2/3/16  
SCALE: 1"=40'  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847

### REMOVAL & REPLACEMENT

DEDICATE RIGHT OF WAY AS NECESSARY TO CONTAIN PEDESTRIAN PATH.

8" THICK 3500 PSI FIELD STRENGTH (4025 PSI LAB STRENGTH) 6.3 SACK MIX REINFORCED CONCRETE ON 2" OF COMPACTED 3/4" MINUS CRUSHED ROCK.

6" LONG TRANSITION TO CURBSIDE SIDEWALK.

DRIVEWAY CURB RETURN SHALL NOT EXTEND BEYOND PROJECTION OF PROPERTY LINE.

**COMMERCIAL DRIVEWAY APPROACHES**

DATE: 2/3/16  
SCALE: 1"=40'  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847

### SECTION A - A

NO ABOVEGROUND FACILITIES (FIRE HYDRANTS, POWER POLES, CATCH BASINS, VALVES, J-BOXES, ETC.) SHALL BE PERMITTED WITHIN THE APRON OR RAMP AREA.

ALL SURFACES SHALL HAVE A BROOM FINISH.

REFER TO STANDARD DRAWING 3-4 FOR CURB CUT DETAILS.

CONCRETE WITHIN APPROACH SHALL BE 8" THICK (MIN) CONCRETE ON 2" OF 3/4" MINUS CRUSHED ROCK.

REINFORCEMENT IS REQUIRED. USE #4 REBAR - 12" ON CENTER - BOTH WAYS - PLACED 2" ABOVE THE BOTTOM OF THE SLAB.

A CONTRACTION (SCORE) JOINT SHALL BE ADDED IN THE CENTER OF THE APRON.

SIDEWALKS, ACCESS RAMPS, AND RESIDENTIAL DRIVEWAYS SHALL BE 3000 PSI FIELD STRENGTH (4025 PSI LAB STRENGTH) 6.0 SACK MIX CONCRETE.

CURBS & COMMERCIAL DRIVEWAYS SHALL BE 3500 PSI FIELD STRENGTH (4025 PSI LAB STRENGTH) 6.3 SACK MIX CONCRETE.

**SIDEWALK ACCESS RAMP NOTES**  
THIS DRIVEWAY APPROACH MAY NOT BE USED AS A SIDEWALK ACCESS RAMP.

DATE: 2/3/16  
SCALE: 1"=40'  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847

### TYPICAL SECTIONS STREET PAVING

CONTRACTION JOINTS - WIDTH TO MATCH SIDEWALK WIDTH (5' ON CENTER TYPICAL).

MARKER EXPANSION JOINTS IN CURBS WHERE POSSIBLE.

CURBSIDE SIDEWALK

SETBACK SIDEWALK

DATE: 2/3/16  
SCALE: 1"=40'  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847

5000 Meadows Road, Suite 345  
Lake Oswego, OR 97035  
P: 503.597.3222 | F: 503.597.7655  
paceengr.com

**PACE**  
An Engineering Services Company  
Civil | Structural | Planning | Survey

14804/15801	DATE	REVISIONS	DATE
BAR IS ONE INCH ORIGINAL DRAWING			

75TH PUMP STATION ROAD DETAILS

DATE: 2/3/16  
SCALE: 1"=40'  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847

DATE RECEIVED: FEB 26 2016  
Original Submittal: 8/12

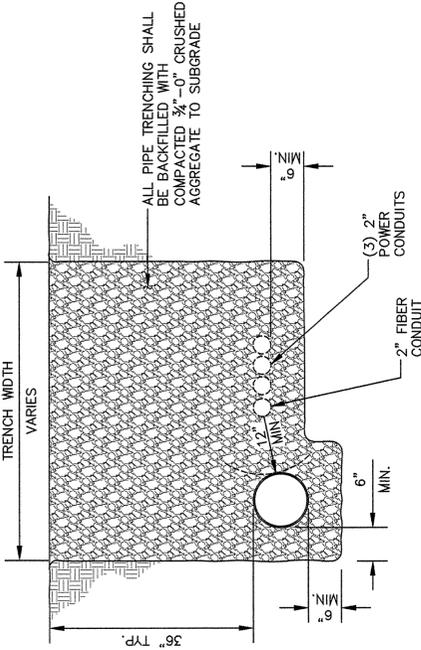
811  
Know what's below. Call before you dig.

DATE RECEIVED: FEB 26 2016  
Original Submittal: 8/12

File Copy  
TP 216-000-14  
Site Plan Review Board  
Springfield Utility Board  
pg 7 of 14

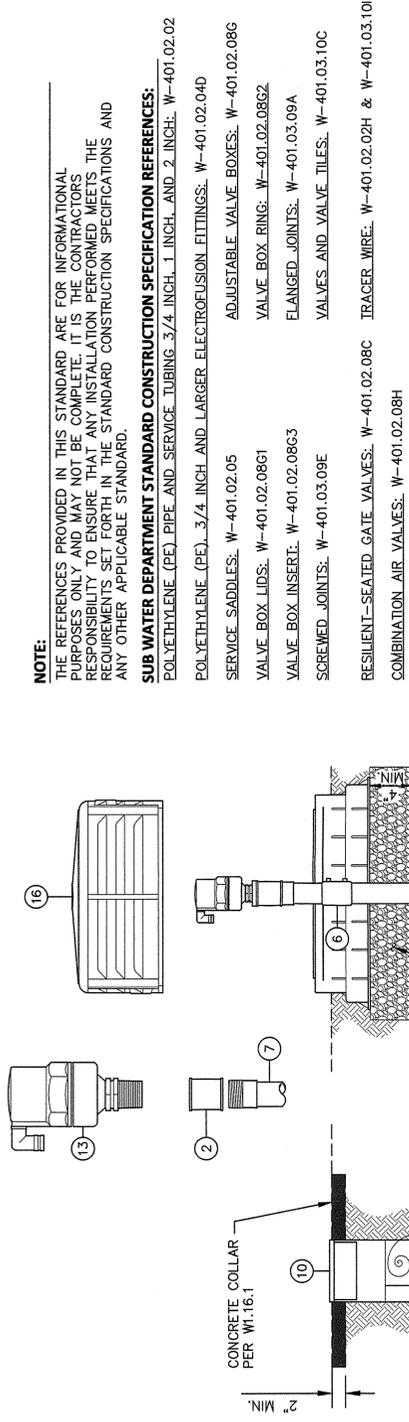
DATE: 2/3/16  
SCALE: 1"=40'  
DRAWN BY: MA  
ENGINEER: TF  
DIST. MAP: 14C  
PROJECT NO.: 15847





MINIMUM 12" SEPARATION BETWEEN WATER AND OTHER DUCTS. NO DUCTS MAY BE PLACED ABOVE WATERLINE EXCEPT WHERE INDICATED ON THE PLAN.

1 JOINT TRENCH DETAIL  
C8 N.T.S.



2 2\"/>

**NOTE:**  
THE REFERENCES PROVIDED IN THIS STANDARD ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE REQUIREMENTS SET FORTH IN THE STANDARD CONSTRUCTION SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARD.

**SUB WATER DEPARTMENT STANDARD CONSTRUCTION SPECIFICATION REFERENCES:**  
 POLYETHYLENE (PE) PIPE AND SERVICE TUBING 3/4 INCH, 1 INCH, AND 2 INCH: W-401.02.02  
 POLYETHYLENE (PE), 3/4 INCH AND LARGER ELECTROFUSION FITTINGS: W-401.02.04D  
 SERVICE SADDLES: W-401.02.05  
 ADJUSTABLE VALVE BOXES: W-401.02.08G  
 VALVE BOX LIDS: W-401.02.08G1  
 VALVE BOX INSERTS: W-401.02.08G3  
 SCREWED JOINTS: W-401.03.09E  
 RESILIENT-SEALED GATE VALVES: W-401.02.08C  
 TRACER WIRE: W-401.02.02H & W-401.03.10I  
 COMBINATION AIR VALVES: W-401.02.08H

No.	QUAN.	PART No.	PART
1	2	519-2000	2" x 6" BRASS NIPPLE
2	1	519-2010	2" BRASS COUPLER
3	1	519-2090	2" 90° BRASS BEND
4	1	546-0200	2" SQ. NUT GATE VALVE
5	LF	567-0200	2" POLY PIPE
6	2	574-0200	2" FUSION COUPLING
7	2	574-0210	2" FUSION ADAPTER
8	1	574-2090	2" 90° FUSION BEND
9	1	591-...20	... x 2" SERVICE SADDLE
10	1	597-8000	8" VALVE TILE I/D
11	1	597-8010	8" VALVE TILE INSERT
12			
13	1	NONSTOCK	2" COMBINATION AIR VALVE
14	LF	NONSTOCK	8" VALVE TILE
15	LF	NONSTOCK	TRACER WIRE
16	1	NONSTOCK	GRANITE PENCELL PLASTICS AGLPNS-1230 "WATER" BOX

File Copy  
 TYP216 0004  
 Site Plan Review  
 Springfield Utility Board  
 Pg 9 of 14

Date Received:  
 FEB 26 2016  
 Original Submittal: *SM*

P:\15\15847 - Springfield Utility Board - 57th Pump Station & Reservoir Site\CD\ENGINEERING\SHETS\15847 - C9 C10 & C11 Details.dwg - Feb 03, 2016 - 7:05am Plotted by mark

# BMP MATRIX FOR CONSTRUCTION PHASES

REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S.

	CLEARING	GRADING	UTILITY INSTALLATION	STREET CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1 - MAY 31ST)
<b>EROSION PREVENTION</b>						
RESERVE NATURAL VEGETATION						
GROUND COVER					X	X
HYDRAULIC APPLICATIONS						X
PLASTIC SHEETING						
MATTING						
DUST CONTROL	X		X		X	X
TEMPORARY/PERMANENT SEEDING					X	X
OTHER:						
<b>SEDIMENT CONTROL</b>						
SEDIMENT FENCE (PERIMETER)	** X	X	X			
SEDIMENT FENCE (INTERIOR)						
STRAW WATTLES						
FILTER BERM			X		X	
INLET PROTECTION	** X	X	X			
DEWATERING						
SEDIMENT TRAP						
OTHER:						
<b>RUN OFF CONTROL</b>						
CONSTRUCTION ENTRANCE	** X	X	X			
PIPE SLOPE DRAIN			X			
OUTLET PROTECTION			X			
SURFACE ROUGHENING		X				
CHECK DAMS						
OTHER:						
<b>POLLUTION PREVENTION</b>						
PROPER SIGNAGE	X	X	X		X	
HAZ WASTE MGMT	X	X	X		X	
SPILL KIT ON-SITE	X	X	X		X	
CONCRETE WASHOUT AREA				X		
OTHER:						

\*\* SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

## EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:

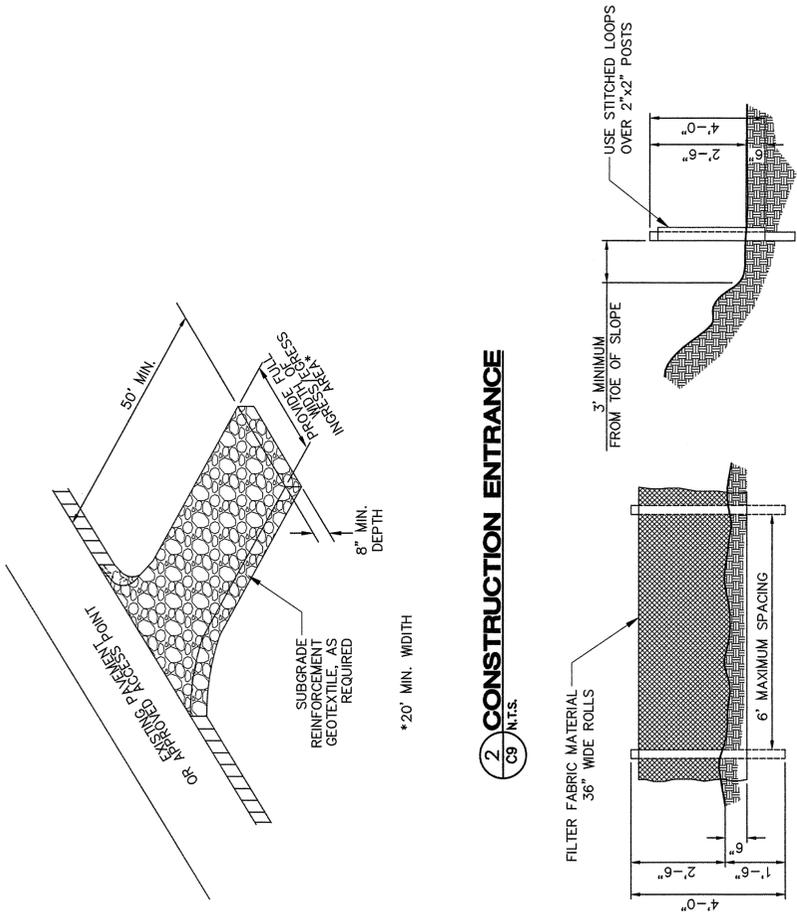
- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- "STRIPPING STOCKPILE AREA" SHALL BE RESTORED TO ORIGINAL GROUND AFTER COMPLETION OF MITIGATION AREA GRADING. EXCESS STRIPPINGS BE DISPOSED OF OFF-SITE AT APPROVED DISPOSAL SITE.
- THE "STAGING AND EQUIPMENT STORAGE AREA SHALL BE RESTORED TO ORIGINAL GROUND AFTER COMPLETION OF WORK.
- ALL "SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADING)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
- LONG TERM SLOPE STABILIZATION MEASURES, "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.

## PRE-CONSTRUCTION, CLEARING, AND DEMOLITION NOTES:

- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- SEDIMENT BARRIERS APPROVED FOR USE INCLUDE SEDIMENT FENCE, BERMS CONSTRUCTED OUT OF MULCH, CHIPPINGS, OR OTHER SUITABLE MATERIAL, STRAW WATTLES, OR OTHER APPROVED MATERIALS.
- SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO, TREES, WETLANDS, AND RIPARIAN PROTECTION AREAS SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCING OR CHAIN LINK FENCING IN A MANNER THAT IS CLEARLY VISIBLE TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, STREET SWEEPING, AND VACUUMING, MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE ROUGHENING, AND BANK STABILIZATION.

### ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THESE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.



FRONT VIEW

PROFILE

- NOTES:
- BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
  - 2"x2" FIR, PINE OR STEEL FENCE POSTS TO BE INSTALLED ON UPHILL SIDE OF SLOPE.
  - COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.



## 1 STORM INLET PROTECTION

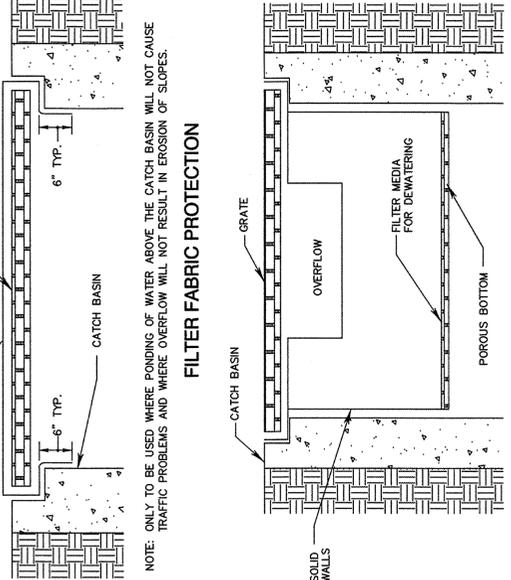
### PERMITTEE'S SITE INSPECTOR:

SPRINGFIELD UTILITY BOARD  
 DIVISION 18TH STREET  
 WATERLOO, OR 97147  
 SPRINGFIELD, OR 97147  
 PH 541-774-3728  
 FX 541-746-3728  
 STEVEN WAGES, PROJECT MANAGER  
 STEVEN@SUBUTIL.COM

SITE CONDITION	MINIMUM FREQUENCY
1. ACTIVE PERIOD	DAILY WHEN STORMWATER RUNOFF, INCLUDING RUNOFF FROM SNOWMELT IS OCCURRING.
2. PRIOR TO SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO SEAVING THE SITE.
3. INACTIVE PERIODS GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS	ONCE EVERY TWO (2) WEEKS.
4. PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER	IF PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION

HOLD A PRE-CON MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE EC INSPECTOR.  
 ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200 C PERMIT REQUIREMENTS.  
 INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200 C PERMIT REQUIREMENTS.  
 CHANGES TO THE APPROVED ESC PLAN MUST BE SUBMITTED TO DEQ IN THE FORM OF AN ACTION PLAN.

THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.



NOTE: THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 C.F. OF STORAGE CAPACITY. THE INSERT SHALL BE EASILY MAINTAINED.

### CATCH BASIN INSERT

### GENERAL NOTES:

- ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AND ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON-SITE OR HAULED OFF-SITE.
- ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
- REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.

PACE  
 An Engineering Services Company  
 5000 Meadows Road, Suite 345  
 Lake Oswego, OR 97035  
 P. 503.597.3222 | F. 503.597.7655  
 Civil | Structural | Planning | Survey  
 paceengr.com

14804/15801  
 SUB W.O.#  
 REVISIONS  
 SCALE: N.T.S.  
 DATE: 2/3/16  
 DRAWN BY: MA  
 ENGINEER: TF  
 DIST. MAP: 14C  
 PROJECT No.: 15847

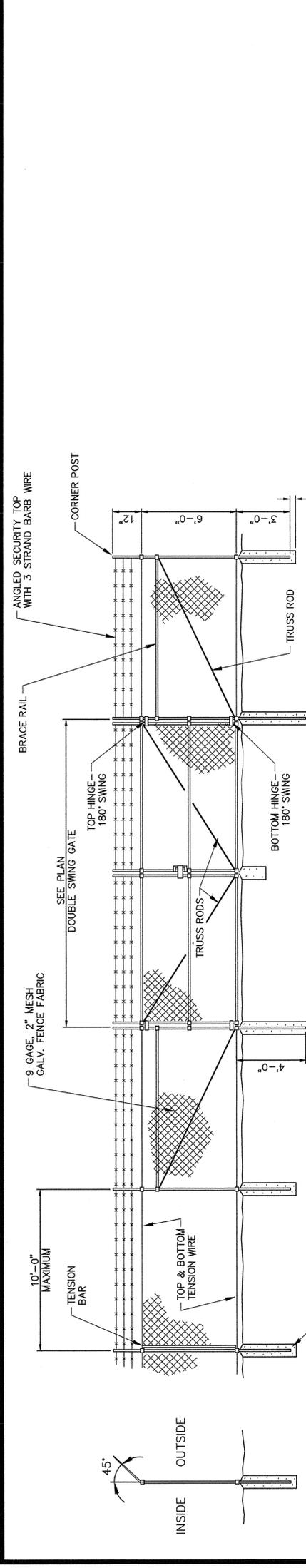
57TH PUMP STATION  
 TESC DETAILS  
 TITLE  
 SEAL: [Professional Engineer Seal]  
 DRAWING NUMBER  
**C9**  
 SHEET: 9 of 11  
 Date Received: FEB 26 2016  
 Original Submittal: 8/11/14

File COPY  
 TYP 216-00014  
 Site Plan Review  
 Springfield Utility Board  
 pg 10 of 14

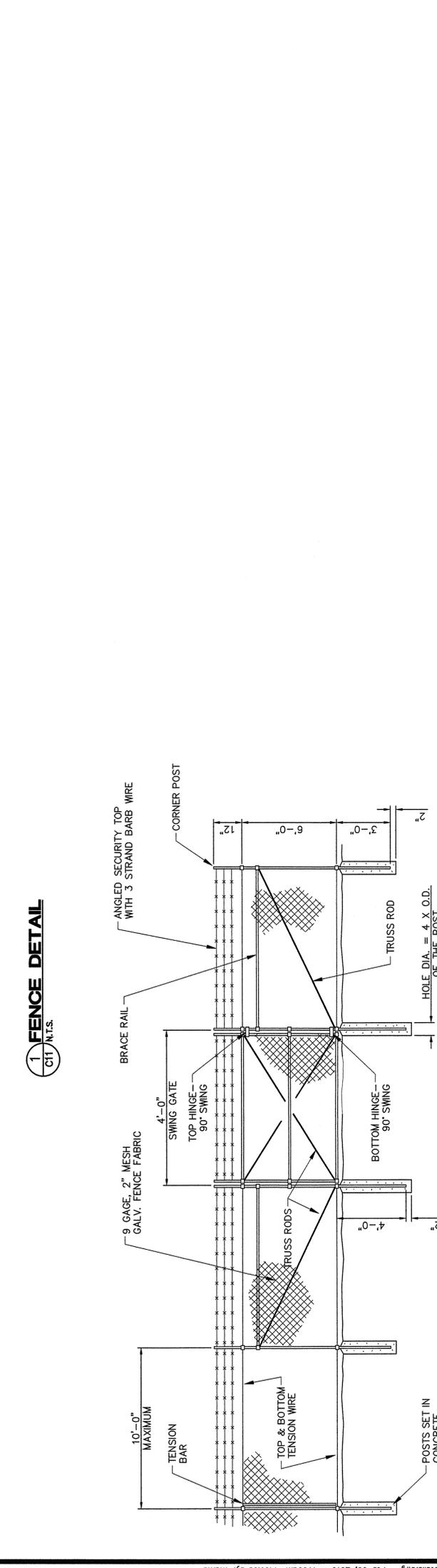


SUB W.O.#: <b>14804/15801</b>	REVISIONS	SCALE: N.T.S. DATE: 2/3/16 DRAWN BY: MA ENGINEER: TF DIST. MAP: 14C PROJECT NO.: 15847	TITLE: <b>57TH PUMP STATION                  SITE DETAILS</b>	DRAWING NUMBER: <b>C11</b>	SHEET: <b>11 of 11</b>
----------------------------------	-----------	---	--	-------------------------------	---------------------------

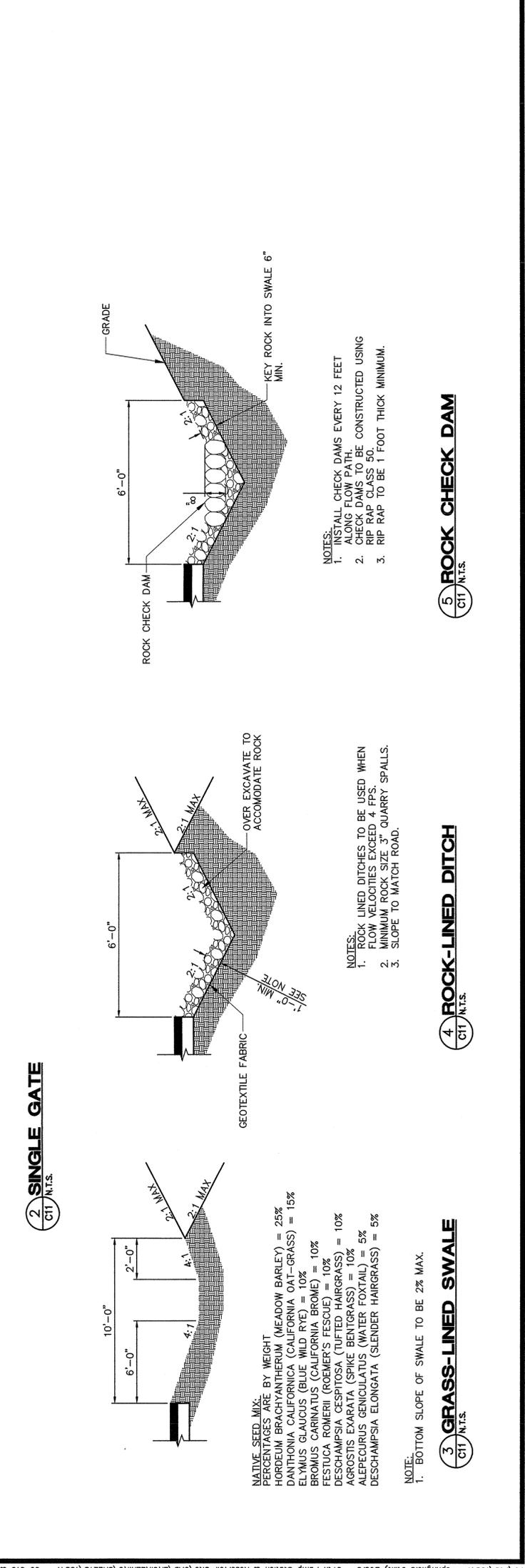
An Engineering Services Company  
 PACE  
 5000 Meadows Road, Suite 345  
 Lake Oswego, OR 97035  
 P. 503.597.3222 | F. 503.597.7655  
 pacengr.com



**1 FENCE DETAIL**  
C11 N.T.S.



**2 SINGLE GATE**  
C11 N.T.S.



File copy  
 Type 2/6/2014  
 Site plan Review  
 Springfield Utility Board  
 pg 12 of 14

Date Received:  
 FEB 26 2016  
 Original Submittal: 570







**SCHWIMER SATRE GROUP**  
 375 West 4th, Suite 201 Eugene, OR 97401  
 Phone: 541.686.4540 Fax: 541.686.4577  
 www.schwimersatre.com

**REGISTERED ARCHITECT**  
 SCHWIMER SATRE ARCHITECTS AND ENVIRONMENTAL ARCHITECTS, P.C.  
 375 West 4th, Suite 201 Eugene, OR 97401  
 Phone: 541.686.4540 Fax: 541.686.4577  
 www.schwimersatre.com

**LANDSCAPE PLAN**  
**57th PUMP STATION AND RESERVOIR SITE IMPROVEMENT**

Project Number	1553
Drawn By	js
Checked	ms
Date	2/8/2016
Phase	Site Plan Review

**L1.0**

**LEGEND**

	EXISTING CONIFEROUS TREE TO REMAIN
	EXISTING DECIDUOUS TREE TO REMAIN
	PROPOSED CONIFEROUS TREE
	PROPOSED DECIDUOUS TREE
	PROPOSED SEEDING - APPROX. 1.01 ACRES

**TREE LIST**

Botanical Name	Common Name	Size
Pinus ponderosa	Ponderosa Pine	Bare Root Seedling
Quercus garryana	Oregon Oak	Bare Root Seedling

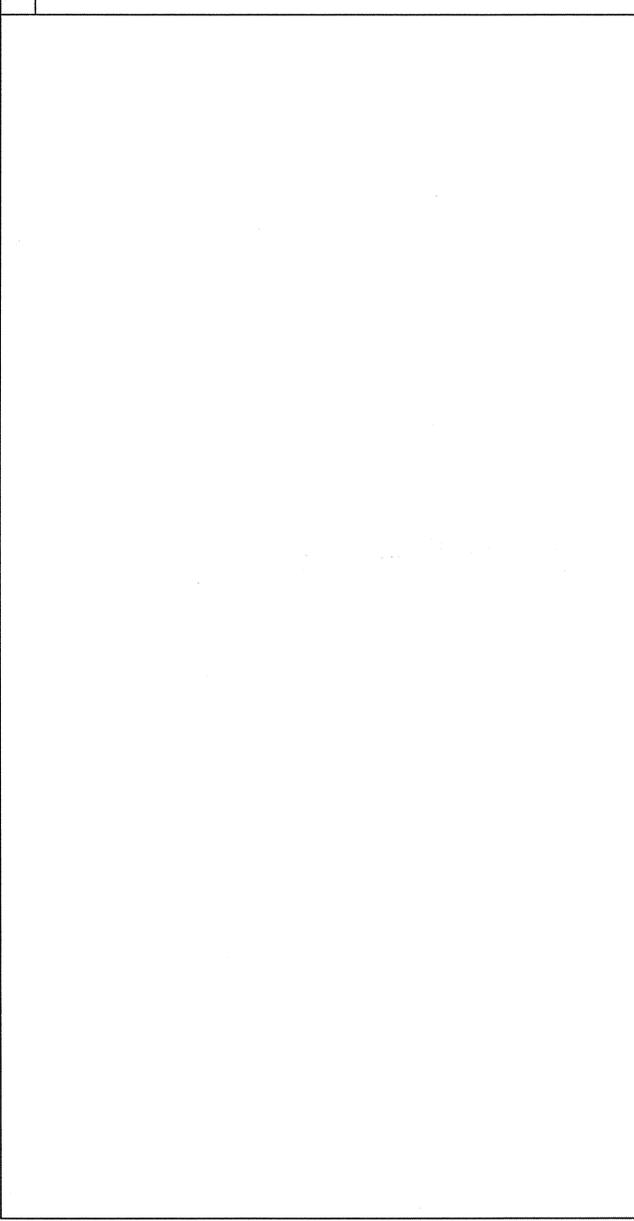
**PLANTING DETAIL**

**NOTES**

- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR APPROVAL FROM LANDSCAPE ARCHITECT.
- NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN THE LAYOUT OF WORK PRIOR TO THE EXECUTION OF THE WORK.
- VERIFY LOCATIONS OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXECUTION OF WORK. REPAIR ANY DAMAGE TO EXISTING UTILITIES, PIPES OR RELATED FACILITIES AT CONTRACTOR'S EXPENSE AND IN A MANNER APPROVED BY THE GENERAL CONTRACTOR.
- PROTECT TRUNKS, LIMBS AND ROOT ZONES OF EXISTING TREES TO REMAIN FROM CONSTRUCTION ACTIVITIES. PROTECT TRUNKS AND LIMBS WITH TREE PROTECTORS OF A DIAMETER WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT.
- MINIMIZE SOIL DISTURBANCE OVER ROOTS OF TREES TO REMAIN.
- INSTALL IRRIGATION TUBES AS SPECIFIED AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TREES PLANTED TOO DEEPLY WILL NOT BE ACCEPTED. SEE TREE PLANTING DETAIL.

**SEED MIX**

Species	Quantity	%
Disturbed Ground/ Late Seeding Mix + Grasses (4-6 PLS 1b/c)		
Elymus glaucus	2.5	2.5
Festuca roemerii	15	15
Koeleria macrantha	15	15
Poa secunda	15	15
Forbs (50%)		
Achillea millefolium	4	
Aster multiflorus	1	
Cirsium discolor	3	
Cirsium discolor	1	
Collinsia grandiflora	1.5	
Collinsia grandiflora	1.5	
Eriophyllum lanatum	4	
Gilia capitata	1	
Lomatium nudicaule	2	
Lotus purshianus	1	
Lupinus holosericeus	2	
Medicago lupulina	1	
Medicago lupulina	1.5	
Plectritis congesta	6	
Prunella vulgaris var. lanceolata	4	
Ranunculus occidentalis	5	
Rumex crispus	3	
Sidalcea malviflora ssp. virgata	3	
Solidago elongata	3	
<b>Total</b>	<b>100</b>	



Date Received: FEB 8, 2016  
 Original Submittal: 2/8/16

File Copy  
 TYPING-00014  
 Site Plan Review  
 Springfield Utility Board  
 Pg 1 of 2

**LAND USE REVIEW SET**  
 THIS DRAWING IS NOT FOR CONSTRUCTION  
 2.26.2016





The filing fee will be refunded to the appellant if one or more of the appeal allegations are upheld by the City Council, or if the decision is amended, remanded or reversed.

---

Planning Commission Chairperson

**ATTEST**

AYES:

NOES:

ABSENT:

ABSTAIN:

**BEFORE THE PLANNING COMMISSION  
OF THE  
CITY OF SPRINGFIELD, OREGON**

**REQUEST FOR SITE PLAN REVIEW**

+  
+  
+

**CASE NO. TYP216-00014  
FINDINGS, CONCLUSIONS,  
AND ORDER**

**NATURE OF THE APPLICATION**

The applicant submitted a Site Plan Review application for construction of an 800 ft<sup>2</sup> pump station building, realigned access driveway, slope grading and recontouring, and water pipeline connection to the public system in Mountaingate Drive for an existing non-addressed utility installation on the western edge of the Mountaingate neighborhood (Assessor's Map 18-02-03-00, Tax Lots 800 & 801; and Map 18-02-04-11, Tax Lot 10900). The site is within the Low Density Residential (LDR) District and the Springfield Development Code (SDC) Sections 3.2-210 and 4.7-160 lists high impact public utility facilities as requiring Site Plan Review in the LDR District. The Site Plan Review application is being processed concurrently with a Discretionary Use request requiring action by the Planning Commission before the subject development can be approved for the site.

1. On February 26, 2016 the following application for Site Plan Review was accepted: Allow for an 800 ft<sup>2</sup> pump station building with realigned access driveway and new water pipeline connection to the public system in Mountaingate Drive in the Low Density Residential District, Case Number TYP216-00014, Steve Wages, Springfield Utility Board – Water Engineering Division, applicant.
2. The application was submitted in accordance with Section 5.4-105 of the Springfield Development Code. Public notification and request for comments, pursuant to Section 5.1-130.B of the Springfield Development Code, has been provided.
3. On April 19, 2016 the Planning Commission reviewed the subject application for Site Plan Review in conjunction with the applicant's request for Discretionary Use. The Development & Public Works Department staff notes including criteria of approval, findings, and recommended conditions of approval, along with the testimony received at the public hearing, have been considered and are part of the record of this proceeding.

**CONCLUSION**

On the basis of this record, the requested Site Plan Review application is consistent with the criteria of Section 5.17-125 of the Springfield Development Code. This general finding is supported by the specific findings of fact, conclusions, and recommended conditions of approval in the attached staff report (Exhibit A) attached hereto.

**ORDER**

It is ORDERED by the Planning Commission of Springfield that Case Number TYP216-00014, Site Plan Review application, be approved. This ORDER was presented to and approved by the Planning Commission on April 19, 2016.

**EXPIRATION OF APPROVAL**

This approval expires two (2) calendar years after the date of approval by the Planning Commission unless extended in accordance with the provisions of SDC Section 5.17-140.

**APPEAL**

Pursuant to SDC Sections 5.1-135 and 5.2-155, this Type II decision is final unless appealed to the Springfield City Council in accordance with SDC Section 5.3-120. Only those persons who participated either orally or in writing have standing to appeal the Planning Commission's decision. An appeal application shall be filed with the Director within 15 calendar days of the Planning Commission's decision (ie. by 5:00 pm on May 4, 2016) to be considered valid. The appeal application shall be accompanied by the fee prescribed by the City Council (\$2,468.00). The filing fee will be refunded to the appellant if one or more of the appeal allegations are upheld by the City Council, or if the decision is amended, remanded or reversed.

---

Planning Commission Chairperson

**ATTEST**

AYES:

NOES:

ABSENT:

ABSTAIN: