



Planning Commission Agenda

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Planning Commissioners:

Tim Vohs, Chair
Nick Nelson, Vice Chair
Steve Moe
Greg James
Sean Dunn
Michael Koivula
Andrew Landen

The meeting location is wheelchair-accessible. For the hearing-impaired, an interpreter can be provided with 48 hours' notice prior to the meeting. For meetings in the Council Meeting Room, a "Personal PA Receiver" for the hearing impaired is available. To arrange for these services, call 541.726.3610.

Meetings will end prior to 10:00 p.m. unless extended by a vote of the Planning Commission.

All proceedings before the Planning Commission are recorded.

June 2, 2015

**6:30 p.m. Work Session
Jesse Maine Room**

(Planning Commission work sessions are reserved for discussion between Planning Commission, staff and consultants; therefore, the Planning Commission will not receive public input during work sessions. Opportunities for public input are given during all regular Planning Commission meetings.)

CONVENE AND CALL TO ORDER THE WORK SESSION OF THE SPRINGFIELD PLANNING COMMISSION

ATTENDANCE: Chair Vohs _____, Vice Chair Nelson _____, Moe____, James _____, Dunn _____,
Koivula _____, Landen _____.

WORK SESSION ITEM(S)

- 1. Moderate Visibility Cellular Tower Application – Smartlink PCs on Behalf of Verizon Wireless LLC, TYP315-00003 and TYP215-00012**

**Staff: Andy Limbird, Senior Planner
30 Minutes**

ADJOURN WORK SESSION OF THE SPRINGFIELD PLANNING COMMISSION

June 2, 2015

**7:00 p.m. Regular Session
Council Chambers**

CONVENE AND CALL TO ORDER THE REGULAR SESSION OF THE SPRINGFIELD PLANNING COMMISSION

ROLL CALL: Chair Vohs _____, Vice Chair Nelson _____, Moe____, James _____, Dunn _____,
Koivula _____, Landen _____.

PLEDGE OF ALLEGIANCE

ADJUSTMENTS TO THE REGULAR SESSION AGENDA

In response to a request by a member of the Planning Commission, staff or applicant; by consensus

BUSINESS FROM THE AUDIENCE

Testimony is limited to 3 minutes; testimony may not discuss or otherwise address public hearings appearing on this Regular Session Agenda

PUBLIC HEARING(S)

QUASI-JUDICIAL PUBLIC HEARING –

2. Moderate Visibility Cellular Tower Application – Smartlink PCs on Behalf of Verizon Wireless LLC, TYP315-00003 and TYP215-00012-

The applicant has submitted Discretionary Use and Site Plan Review applications for a new wireless telecommunication tower facility off South 42nd Street. The proposed cellular tower is designed as an imitation pine tree and is classified as a “Moderate Visibility” wireless telecommunication facility requiring Planning Commission approval. Section 4.3-145.F of the Springfield Development Code (SDC) provides Discretionary Use standards for approving the cellular tower placement.

Staff: Andy Limbird

30 Minutes

CONDUCT OF QUASI-JUDICIAL PUBLIC HEARING BEFORE THE PLANNING COMMISSION

- Staff explanation of quasi-judicial hearing process (ORS 197.763)
- Chair opens the public hearing
- Commission members declaration of potential conflicts of interest; disclosure of “ex-parte” contact
- Staff report
- Testimony from the applicant
- Testimony in support of the application
- Testimony opposed to the application
- Testimony neither in support of nor opposed to the application
- Summation by staff

- Rebuttal from the applicant
- Consideration of request for continuation of public hearing, extension of written record, or both
- Close or continue public hearing; close or extend written record (continuance or extension by motion)
- Planning Commission discussion; possible questions to staff or public
- Motion to approve, approve with conditions, or deny the application based on the information contained in the staff report, oral and written testimony, and all other evidence submitted into the record
- Final Order signed by Chair incorporating findings and reasoning to support the decision

REPORT OF COUNCIL ACTION

BUSINESS FROM THE PLANNING COMMISSION

- Upcoming Planning Commission meetings, committee assignments, appointments or other business

BUSINESS FROM THE DEVELOPMENT AND PUBLIC WORKS DIRECTOR

ADJOURN REGULAR SESSION OF THE SPRINGFIELD PLANNING COMMISSION

AGENDA ITEM SUMMARY

Meeting Date: 6/2/2015
Meeting Type: Work Session/Reg. Mtg
Staff Contact/Dept.: Andy Limbird, DPW
Staff Phone No: 541-726-3784
Estimated Time: 30 Minutes
Council Goals: Maintain and Improve
Infrastructure and Facilities

**SPRINGFIELD
PLANNING COMMISSION**

ITEM TITLE: MODERATE VISIBILITY CELLULAR TOWER APPLICATION—SMARTLINK PCS ON BEHALF OF VERIZON WIRELESS LLC, CASES TYP315-00003 AND TYP215-00012

ACTION REQUESTED: Conduct an initial work session, then conduct a public hearing and approve, approve with amendments, or deny a proposal by Verizon Wireless to construct a 90-foot tall monopine cellular tower at 4614 Jasper Road.

ISSUE STATEMENT: The applicant has submitted Discretionary Use and Site Plan Review applications for a new wireless telecommunication tower facility off South 42nd Street. The proposed cellular tower is designed as an imitation pine tree and is classified as a “Moderate Visibility” wireless telecommunication facility requiring Planning Commission approval. Section 4.3-145.F of the Springfield Development Code (SDC) provides Discretionary Use standards for approving the cellular tower placement.

ATTACHMENTS:

1. Staff Report and Recommendation for Discretionary Use
2. Staff Report and Recommended Conditions of Approval for Site Plan Review
3. Verizon Wireless Application and Exhibits
4. Written Comments from Robert & Diane Ronning

DISCUSSION: The tower facility is proposed for a vacant commercial property on the west side of South 42nd Street just north of the intersection with Jasper Road. The location is zoned Community Commercial (CC) in accordance with the Springfield Zoning Map. The surrounding properties are zoned for commercial, institutional, single-family residential, and multi-family residential development. Moderate Visibility tower facilities are allowable in the Community Commercial district subject to Discretionary Use approval.

The proposed cellular tower is just south of the Relief Nursery facility at 850 South 42nd Street, and east of Mt. Vernon Elementary School. There are existing residential dwellings to the south and southwest of the subject site along Horace Street and Jasper Road. The nearest dwelling on residentially-zoned property is about 375 feet from the proposed cellular tower. Verizon Wireless has provided evidence of a substantial capacity gap in the mid-Springfield area (Attachment 3), particularly with modern data streaming demands. Additionally, the cellular facility currently providing coverage for this area of Springfield is located at the International Paper plant. The antenna array is planned to be removed to accommodate changes at the International Paper site and is not being replaced. Therefore, the proposed cellular tower facility would constitute both a relocation of an existing facility to maintain coverage and an improvement to the service capacity in the area.

Staff has prepared a staff report and recommendation based on the review criteria found in SDC Section 4.3-145.F and SDC Section 5.9-120 (Attachment 1). The findings presented by staff provide a substantive basis for conditionally approving a moderate visibility wireless telecommunication facility at the subject property. Staff has also prepared a staff report with recommended conditions of approval for the Site Plan Review application, which is based on the review criteria found in SDC Section 5.17-125 (Attachment 2).

One written comment was received in response to the mailed notice of the Public Hearing for Discretionary Use and Site Plan Review applications, and is included herein as Attachment 4.

**Staff Report and Findings
Springfield Planning Commission
Discretionary Use Request (Verizon Wireless)**

Hearing Date: June 2, 2015

Case Number: TYP315-00003

Applicant: Lauren Russell, SmartLink LLC on behalf of Verizon Wireless

Site: 4614 Jasper Road (Map 18-02-05-23, Tax Lot 100)

Request

The application was submitted on May 1, 2015 and the public hearing on the matter of the Discretionary Use request is scheduled for June 2, 2015. The City conducted a Development Review Committee meeting on the Discretionary Use request on May 19, 2015.

Site Information/Background

The property that is the subject of the Discretionary Use request is located at 4614 Jasper Road, which is a mostly vacant commercial parcel containing a concrete shell building (Photos 1-3). The physical location of the proposed cellular tower is just west of South 42nd Street near the north boundary of the property. The applicant is proposing to construct a 90-foot high monopine cellular tower with equipment shelter and fenced enclosure about 54 feet from the north boundary of the subject property. Monopine cellular towers are classified as “moderate visibility” wireless telecommunications system (WTS) facilities in accordance with Section 4.3-145.E of the Springfield Development Code (SDC). Moderate visibility wireless telecommunications system facilities (ie. cellular towers that are camouflaged as imitation trees) are allowable in the Community Commercial (CC) District subject to Discretionary Use approval in accordance with SDC Section 4.3-145.F.5 and Table 4.3-1.

Photo 1 – Site Air Photo



Photo 2 – Magnified Aerial View

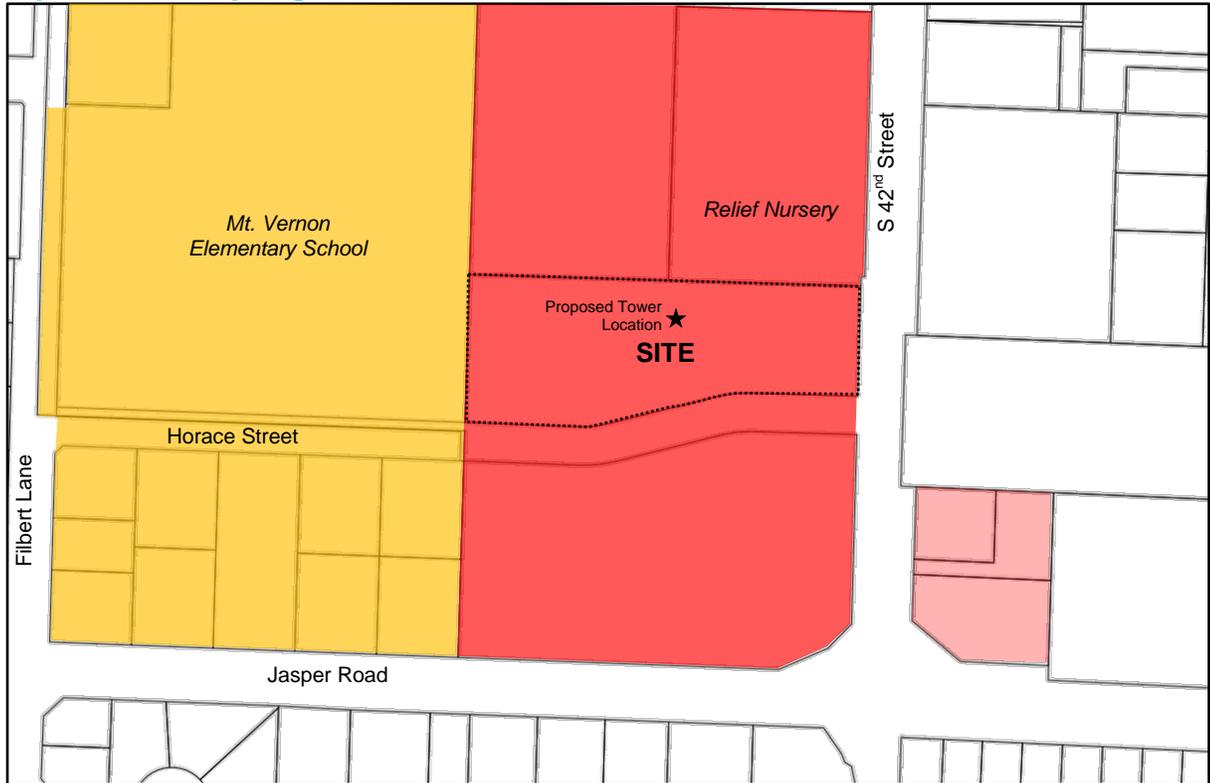


Photo 3 – Site View Looking East



The property is zoned and designated Community Commercial (CC) in accordance with the Springfield Zoning Map and the adopted *Metro Plan* diagram (Figure 1). The facility has frontage on South 42nd Street along the east boundary, and access to the site will be derived from an existing curb cut and driveway approach onto South 42nd Street. The applicant is proposing to use the existing driveway approach and gravel driveway surrounding the vacant commercial building as the primary means of access to the site. The applicant is proposing to extend the gravel driveway around the north side of the vacant commercial building to a fenced and gated compound and equipment shelter serving the cellular tower. The applicant has submitted a Site Plan Review application under separate cover (Case TYP215-00012) for the proposed wireless telecommunications system facility and compound.

Figure 1 – Zoning Map Extract



Zoning Map Legend

- Community Commercial (CC)
- Neighborhood Commercial (NC)
- Low Density Residential (LDR)
- Medium Density Residential (MDR)

Notification and Written Comments

Notification of the June 2, 2015 public hearing was sent to all property owners and residents within 300 feet of the site on May 12, 2015. Notification was also published in the legal notices section of *The Register Guard* on May 26, 2015.

Public notification was also sent to all property owners and residents within 300 feet of the site on May 12, 2015 for the companion Site Plan Review application submitted under separate cover (Case TYP215-00012). One written comment was received from Robert and Diane Ronning, 4050 Jasper Road, Springfield 97478:

“We own property on Horace St. and are very much opposed to any development on it as we are living on a fixed income and any more assessment to it would make it very difficult for us, as we are both in our late 70’s. So we are both opposed to this development. We beg you to vote against this.”

Staff Response: The proposed wireless transmissions system facility is located on a mostly vacant commercial property to the northwest of the residential dwellings on Horace Street. Installation of the proposed cellular tower should have no financial impact to adjacent property owners. The residential properties on Horace Street are not annexed to the City of Springfield, so changes to Lane County levies or taxation rates could have potential impacts to their property tax assessments. It is the opinion of staff that such changes would be entirely separate from and not influenced by the current development proposal.

Criteria of Approval

Section 5.9-100 of the SDC contains the criteria of approval for the decision maker to utilize during review of Discretionary Use requests. The Criteria of Discretionary Use approval are:

SDC 5.9-120 CRITERIA

A. *The proposed use conforms with applicable:*

1. *Provisions of the Metro Plan;*
2. *Refinement plans;*
3. *Plan District standards;*
4. *Conceptual Development Plans or*
5. *Specific Development Standards in this Code;*

B. *The site under consideration is suitable for the proposed use, considering:*

1. *The location, size, design and operating characteristics of the use (operating characteristics include but are not limited to parking, traffic, noise, vibration, emissions, light, glare, odor, dust, visibility, safety, and aesthetic considerations, where applicable);*
2. *Adequate and safe circulation exists for vehicular access to and from the proposed site, and on-site circulation and emergency response as well as pedestrian, bicycle and transit circulation;*
3. *The natural and physical features of the site, including but not limited to, riparian areas, regulated wetlands, natural stormwater management/drainage areas and wooded areas shall be adequately considered in the project design; and*
4. *Adequate public facilities and services are available, including but not limited to, utilities, streets, storm drainage facilities, sanitary sewer and other public infrastructure.*

C. *Any adverse effects of the proposed use on adjacent properties and on the public can be mitigated through the:*

1. *Application of other Code standards (including, but not limited to: buffering from less intensive uses and increased setbacks);*
2. *Site Plan Review approval conditions, where applicable;*
3. *Other approval conditions that may be required by the Approval Authority; and/or*
4. *A proposal by the applicant that meets or exceeds the cited Code standards and/or approval conditions.*

D. *Applicable Discretionary Use criteria in other Sections of this Code:*

1. *Wireless telecommunications systems facilities requiring Discretionary Use approval are exempt from Subsections A-C above, but shall comply with the approval criteria specified in Section 4.3-145.*
2. *Alternative design standards for multifamily development are exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 3.2-245*
3. *Fences requiring Discretionary Use approval are exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 4.4-115.C.*
4. *The siting of public elementary, middle and high schools requiring Discretionary Use approval is exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 4.7-195.*

Finding: Wireless telecommunications systems facilities are exempt from Criteria A-C in accordance with Section 5.9-120.D.1 of the Springfield Development Code. Therefore, only Criterion D is listed herein.

Proposed Findings In Support of Discretionary Use Approval

Criterion: Discretionary Use criteria of approval:

D. Applicable Discretionary Use criteria in other Sections of this Code:

1. **Wireless telecommunications systems facilities requiring Discretionary Use approval are exempt from Subsections A-C above, but shall comply with the approval criteria specified in Section 4.3-145.**

Procedural Finding: The approval criteria for wireless telecommunications system facilities are listed in SDC 4.3-145.F – General Standards. The proposed monopine tower (ie. imitation tree) is classified as a “moderate visibility” facility in accordance with SDC 4.3-145.E. The applicable standards for wireless telecommunications systems facilities are as follows:

- 1) **Design for co-location. All new towers shall be designed to structurally accommodate the maximum number of additional users technically practicable.**

Applicant’s Submittal: “As illustrated in the ‘Proposed Tower Load Elevation’ on Sheet A-2 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed WTS facility would be designed to structurally accommodate two additional users.”

Finding 1: The applicant has designed the wireless telecommunications system (WTS) facility to accommodate additional users, thereby allowing for co-location at the subject site. The applicant's submittal (Sheet A-2) shows the location of two additional antenna arrays that could be mounted below the Verizon Wireless antenna array. Tower loading for the currently proposed and potential future antenna arrays will be reviewed through the building permitting process for the facility.

Conclusion: This standard has been met.

2) Demonstrated Need for New WTS Facilities. Applications shall demonstrate that the proposed WTS facility is necessary to close a significant gap in service coverage or capacity for the carrier and is the least intrusive means to close the significant gap.

Applicant's Submittal: "As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification Letter), the proposed WTS facility is needed to close a significant gap in both service coverage and capacity. Currently, Verizon Wireless has one site with a single sector pointed toward the area of concern and the data usage demands exceed the existing capacity. This existing site, EUG Springfield, will soon be decommissioned, which will create a coverage gap on top of the capacity gap. As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification Letter), the search area assigned by the radio frequency engineer to the real estate consultant was determined by the current coverage provided by the to-be-decommissioned EUG Springfield site, the terrain, and the population density distribution. This need excluded all existing towers due to their distance from the coverage need and thus a new tower is necessary. The attached inventory of existing towers map (Exhibit C – Inventory of Towers) shows all existing towers within five miles of the proposed WTS facility, none of which fall within the assigned search area. The nearest existing tower at 4680 Main Street is 0.85 miles north of the proposed WTS facility, which is too far north from the assigned search area to adequately meet the coverage objective. The next nearest tower at 693 36th Street is 1.27 miles northwest of the proposed WTS facility [and] is already a Verizon site – EUG Aster. The only other existing tower that is fewer than 2 miles from the proposed WTS facility is the tower at 3950 Kathryn Avenue, which is 1.64 miles northwest and very close to Verizon's EUG Aster site. This tower would provide very similar coverage to the EUG Aster site and would also not adequately meet the coverage objective. There are no existing buildings within the search area that could be used for co-location opportunities. The majority of the search area is zoned Low Density Residential and there are also 2 properties zoned Community Commercial and 3 properties zoned Neighborhood Commercial. Existing buildings on the non-residential properties are one- and two-story buildings, which is too short to meet the engineer's minimum antenna centerline height of 75 feet."

Finding 2: The applicant's submittal shows the existing gaps in coverage, along with the location of the existing Verizon Wireless facility at the International Paper plant in mid-Springfield. Upon decommissioning of the existing wireless telecommunications system facility, there would be a coverage and capacity gap that can be addressed by the proposed monopine tower.

Conclusion: This standard has been met.

- 3) Lack of Coverage and Lack of Capacity. The application shall demonstrate that the gap in service cannot be closed by upgrading other existing facilities. In doing so, evidence shall clearly support a conclusion that the gap results from a lack of coverage and not a lack of capacity to achieve adequate service. If the proposed WTS facility is to improve capacity, evidence shall further justify why other methods for improving service capacity are not reasonable, available or effective.**

Applicant's Submittal: *"As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification letter), the decommissioning of the EUG-Springfield site will create a gap from a lack of coverage in an area that is already experiencing a gap from a lack of capacity."*

Finding 3: The applicant's submittal indicates that there is an existing capacity gap in the area to be served by the proposed monopine tower. Additionally, with the anticipated decommissioning of an existing facility at the International Paper plant north of the subject property, there will be a coverage gap as well. The proposed facility addresses both the coverage and capacity gap according to the applicant's submittal and supporting information.

Conclusion: This standard has been met.

- 4) Identify the Least Intrusive Alternative for Providing Coverage. The application shall demonstrate a good faith effort to identify and evaluate less intrusive alternatives, including, but not limited to, less sensitive sites, alternative design systems, alternative tower designs, the use of repeaters, or multiple facilities. Subsection F.5. defines the type of WTS facilities that are allowed in each zoning district.**

Applicant's Submittal: *"As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification Letter), the search area assigned by the radio frequency engineer to the real estate consultant was determined by the current coverage provided by the to-be-decommissioned EUG Springfield site, the terrain, and the population density distribution. This need excluded all existing towers due to their distance from the coverage need and thus a new tower is necessary. The attached inventory of existing towers map (Exhibit C – Inventory of Towers) shows all existing towers within five miles of the proposed WTS facility, none of which fall within the assigned search area. The nearest existing tower at 4680 Main Street is 0.85 miles north of the proposed WTS facility, which is too far north from the assigned search area to adequately meet the coverage objective. The next nearest tower at 693 36th Street is 1.27 miles northwest of the proposed WTS facility [and] is already a Verizon site – EUG Aster. The only other existing tower that is fewer than 2 miles from the proposed WTS facility is the tower at 3950 Kathryn Avenue, which is 1.64 miles northwest and very close to Verizon's EUG Aster site. This tower would provide very similar coverage to the EUG Aster site and would also not adequately meet the coverage objective. There are no existing buildings within the search area that could be used for co-location opportunities. The majority of the search area is zoned Low Density Residential and there are also 2 properties zoned Community Commercial and 3 properties zoned Neighborhood Commercial. Existing buildings on the non-residential properties are one- and two-story buildings, which is too short to meet the engineer's minimum antenna centerline height of 75 feet. Because the to-be-decommissioned site's antennas had a centerline of 160 feet, the replacement site would either need to match that height or be as tall as permissible. Instead of proposing a new 160-foot tall tower, Verizon proposes to make use of multiple less intrusive facilities. The replacement plan includes the proposed WTS facility and EUG Aster, a co-location on the existing tower located*

at 693 36th Street (permit #811-SPR2014-02174). By using multiple facilities, the proposed WTS facility antennas would have a centerline of 90 feet, which would provide an acceptable replacement signal strength, allowing the current customers to maintain service.”

Finding 4: The applicant’s submittal and supporting information demonstrates that the proposed monopine tower, in conjunction with modifications other existing Verizon Wireless facilities in the vicinity, is the minimum-sized facility necessary to address the coverage and capacity gap in this area of Springfield.

Conclusion: This standard has been met.

5) Location of WTS Facilities by Type. Subsection E. defines various types of WTS facilities by their visual impact. These are: high visibility, moderate visibility, low visibility and stealth facilities. Table 4.3-1 lists the type of WTS facilities allowed in each of Springfield’s zoning districts.

Applicant’s Submittal: *“The proposed WTS facility would be a monopine, which is a moderate visibility facility. Moderate visibility facilities are allowed in the subject property’s Community Commercial zoning district.”*

Finding 5: In accordance with SDC 4.3-145.E, wireless transmissions system facilities that are camouflaged, such as imitation trees, are considered “moderate visibility”. In accordance with SDC Table 4.3-1, moderate visibility facilities are allowable in the Community Commercial district.

Finding 6: In accordance with SDC 4.3-145.H, moderate visibility wireless transmissions system facilities require Type III Planning Commission review. The applicant has submitted concurrent Discretionary Use (Case TYP315-00003) and Site Plan Review (Case TYP215-00012) applications for Planning Commission review.

Conclusion: This standard has been met.

6) Maximum Number of High Visibility WTS Facilities. No more than 1 high visibility facility is allowed on any 1 lot/parcel.

Applicant’s Submittal: *“Not applicable. The proposed WTS facility would be a moderate visibility facility. There are no existing WTS facilities on the subject property.”*

Finding 7: The applicant is not proposing a high visibility wireless transmissions facility or more than one facility on the subject property. Therefore, this standard does not apply.

Conclusion: This standard has been met.

7) Separation Between Towers. No new WTS tower may be installed closer than 2,000 feet from any existing or proposed tower unless supporting findings can be made under Subsections F.2, 3 and 4 by the Approval Authority.

Applicant’s Submittal: *“As illustrated in the attached inventory of existing towers map (Exhibit C – Inventory of Existing Towers), the nearest existing tower is 0.85 miles, or 4,488 feet, away from the proposed WTS facility.”*

Finding 8: The applicant's submittal confirms that the nearest wireless telecommunications system tower operated by Verizon Wireless or any other carrier is more than 2,000 feet from the subject site.

Conclusion: This standard has been met.

- 8) WTS Facilities Adjacent to Residentially Zoned Property. In order to ensure public safety, all towers located on or adjacent to any residential zoning district shall be set back from all residential property lines by a distance at least equal to the height of the facility, including any antennas or other appurtenances. The setback shall be measured from that part of the WTS tower that is closest to the neighboring residentially zoned property.**

Applicant's Submittal: *"As illustrated in the 'Proposed Site Plan' on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed WTS facility would be set back more than 267 feet from the residential property to the west and more than 322 feet from the residential property to the east, which is greater than the 90-foot antenna tip height."*

Finding 9: The subject property is zoned Community Commercial, and therefore the proposed facility is not on or immediately adjacent to a residential zoning district. The nearest residentially-zoned properties are about 435 feet north (vacant property immediately south of 804 South 42nd Street, which is zoned Low Density Residential); 267 feet west (Mt. Vernon Elementary School, which is zoned Medium Density Residential); 320 feet southwest (4094 Jasper Road, which is zoned Medium Density Residential); 520 feet south (4145 Jasper Road, which is zoned Low Density Residential); and 320 feet east (East Congregation of Jehovah's Witnesses Church at 885 South 42nd Street, which is zoned Low Density Residential). The applicant's submittal demonstrates that the tower will be sufficiently set back from residential property lines in accordance with SDC 4.3-145.F.8.

Conclusion: This standard has been met.

- 9) Historic Buildings and Structures. No WTS facility shall be allowed on any building or structure, or in any district, that is listed on any Federal, State or local historic register unless a finding is made by the Approval Authority that the proposed facility will have no adverse effect on the appearance of the building, structure, or district. No change in architecture and no high or moderate visibility WTS facilities are permitted on any building or any site within a historic district. Proposed WTS facilities in the Historic Overlay District area also subject to the applicable provisions of Section 3.3-900.**

Applicant's Submittal: *"Not applicable. The proposed WTS facility would not be located on a historic building or structure."*

Finding 10: The proposed wireless telecommunications system facility is not located on a historic building, or within the designated Historic Overlay District as depicted in SDC 3.3-910. Therefore, this standard does not apply.

Conclusion: This standard has been met.

- 10) Equipment Location. The following location standards shall apply to WTS facilities:**

- a. No WTS facility shall be located in a front, rear or side yard building setback in any base zone and no portion of any antenna array shall extend beyond the property lines;**

Applicant's Submittal: *"As illustrated in the 'Proposed Site Plan' on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed WTS facility would be located more than 53 feet from the nearest property line, which is greater than the required 10-foot interior setback."*

Finding 11: In accordance with SDC 3.2-315, the minimum interior side yard or rear yard building setback when abutting residential districts is 10 feet. The subject property abuts residential zoning along the west boundary.

Finding 12: The proposed monopine tower is not located within a required building setback area and the antenna does not project into a setback area or across a property line.

Conclusion: This sub-element of the standard has been met.

- b. Where there is no building, the WTS facility shall be located at least 30 feet from a property line abutting a street;**

Applicant's Submittal: *"As illustrated in the 'Proposed Site Plan' on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed WTS facility would be located 111 feet from the nearest property line abutting a street."*

Finding 13: In accordance with SDC 3.2-315, the minimum front yard or street side yard building setback is 10 feet. The subject property abuts South 42nd Street along the east boundary, and the property abuts an undeveloped segment of Horace Street along the south boundary. The proposed monopine tower is about 111 feet from the edge of the undeveloped Horace Street right-of-way and about 240 feet from the edge of the South 42nd Street right-of-way, which meets the requirements of SDC 3.2-315.

Conclusion: This sub-element of the standard has been met.

- c. For guyed WTS towers, all guy anchors shall be located at least 50 feet from all property lines.**

Applicant's Submittal: *"Not applicable. The proposed WTS facility would not include any guy wires."*

Finding 14: As stated in the applicant's project narrative, the proposed monopine tower is a freestanding structure and does not require guy wire support. Therefore, this standard does not apply.

Conclusion: This sub-element of the standard has been met.

- 11) Tower Height. Towers may exceed the height limits otherwise provided for in this Code. However, all towers greater than the height limit of the base zone shall require Discretionary Use approval through a Type III review process, subject to the approval criteria specified in Subsection I.**

Applicant's Submittal: *"There is no maximum building height in the Community Commercial zoning district except within fifty feet of a Low Density Residential or Medium Density Residential zoning district to the east, west, or south, where the maximum height is no greater than that permitted within the residential zoning district. Because the proposed WTS facility is located more than 50 feet from the adjacent properties zoned Low Density Residential and Medium Density Residential to the east and west, respectively, there is no height limit."*

Finding 15: In accordance with SDC 3.2-315, there is no maximum building height in the Community Commercial district, except for a zone extending 50 feet inward from the edge of the properties that are zoned Medium Density Residential along the west boundary of the site. The proposed monopine tower is located about 267 feet from the west boundary of the property and is therefore outside the 50-foot height limitation zone along the west boundary of the site.

Conclusion: This standard has been met.

- 12) Accessory Building Size. All accessory buildings and structures built to contain equipment accessory to a WTS facility shall not exceed 12 feet in height unless a greater height is necessary and required by a condition of approval to maximize architectural integration. Each accessory building or structure located on any residential or public land and open space zoned property is limited to 200 square feet, unless approved through the Discretionary Use process.**

Applicant's Submittal: *"As illustrated in the 'Shelter Details' on Sheet A-6 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed WTS facility's accessory equipment shelter would be 10'-6" in height. Because the subject property is zoned Community Commercial, the accessory equipment structure is not limited in square footage."*

Finding 16: As stated in the applicant's submittal, the proposed equipment shelter building will have a flat roof and be approximately 10.5 feet in height. The proposed building is about 310 square feet and will require building permits for construction.

Finding 17: In accordance with SDC 4.7-105, accessory structures are to be constructed in conjunction with or after construction of a primary structure. There is an existing, vacant, 4,000 ft² commercial building on the property that is considered the primary structure on the site. Therefore, an accessory structure is allowable on the property.

Conclusion: This standard has been met.

- 13) Visual Impact. All WTS facilities shall be designed to minimize the visual impact to the greatest extent practicable by means of placement, screening, landscaping, and camouflage. All facilities shall also be designed to be compatible with existing architectural elements, building materials, and other site characteristics. The applicant shall use the least visible antennas reasonably available to accomplish the coverage objectives. All high visibility and moderate visibility facilities shall be sited in a manner to cause the least detriment to the viewshed of abutting properties, neighboring properties, and distant properties.**

Applicant's Submittal: *"The proposed WTS facility would be designed to minimize the visual impact to the greatest extent practicable by means of placement, screening, landscaping, and camouflage.*

Placement: *As illustrated in the 'Proposed Site Plan' on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed WTS facility would be located on a large parcel more than 240 feet from S. 42nd [Street], more than 110 feet from the Horace Street right-of-way, more than 267 feet from the school property to the west, and more than 50 feet from the commercial property to the north. As illustrated in attached photo simulation looking west (Exhibit D – Visual Impact Study), the proposed WTS facility would be located near existing trees of various sizes, which would help the facility blend in with the context of the site.*

Screening and landscaping: *The proposed WTS facility would be surrounded by a 6-foot tall chain link fence with barbed wire and a 5-foot wide landscape buffer. As illustrated on Sheet A-1.1 of the attached drawings (Exhibit A – Site Plan and Elevations), the landscaping surrounding the proposed WTS facility would comply with the landscaping, screening, and fence standards. The proposed screening and landscaping would minimize the visual impact of the equipment area and tower base.*

Camouflage: *The proposed WTS facility would be a monopine. As illustrated in the 'Proposed East Elevation' on Sheet A-2 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed tower would be designed to look as much like a tree as possible, with branches, low-profile antennas colored green to blend with the branches, and a pole colored to match the trunks of the surrounding trees. The attached photo simulations (Exhibit D – Visual Impact Study) also illustrate the proposed monopine design. Compared to an unstealthed monopole, the proposed facility would better blend with the context of the site and thus minimizes the visual impact."*

Finding 18: The applicant is proposing to install a landscaping buffer around the fenced enclosure containing the monopine tower and equipment shelter. According to the applicant's site plan, the landscaping plants will be drought tolerant and will not require irrigation after establishment. Seven (7) Leyland cypress trees are proposed to be planted around the perimeter of the fenced enclosure, including a tree at each of the four corners and one at the midpoint of the north, west and south fencelines. Leyland cypress trees are noted for their ability to withstand poor site conditions, rapid establishment and growth, and dense growth form. The trees can reach a height of 50 feet or more in optimal conditions. The applicant is also proposing to plant shrubs in the intervening areas between the cypress trees. The proposed species (Blue Blossom and Oregon Grape) typically reach a height of five to six feet and are broadleaf evergreen species. The applicant's proposed site plan would provide for a year-round vegetative screening of the wireless transmissions system equipment shelter and enclosure.

Finding 19: The applicant has submitted renderings of the proposed monopine tower, which is proposed as a 2 branch per foot imitation pine tree (Figure 2). Staff observes that the proposed design is not consistent with the growth form of other natural evergreen trees in the neighborhood, or even in the greater region. There are existing fir trees on the boundary of the site, and these have a more dense growth form and higher density of branches than the proposed monopine facility. It is the opinion of staff that the proposed design would be more appropriate for central Oregon where pine trees are the predominant evergreen species.

Instead, staff recommends a 3 branch per foot design that resembles a Sequoia or California Redwood tree – trees that are not native to the area but are commonly planted as landscaping trees and become neighborhood landmarks due to their size and distinctive growth form (Figure 3).

Figure 2 – Proposed Tower Design



2 Branches per Foot

Figure 3 – Recommended Tower Design



3 Branches per Foot

Source: Larson's Camouflage Product Sheets

RECOMMENDED CONDITION OF APPROVAL:

- 1. The monopine wireless transmissions system facility shall be a three (3) branch per foot facility as depicted in the manufacturer's product sheets provided by Larson's Camouflage.**

Conclusion: As conditioned herein, this standard has been met.

- 14) Minimize Visibility. Colors and materials for WTS facilities shall be nonreflective and chosen to minimize visibility. Facilities, including support equipment and buildings, shall be painted or textured using colors to match or blend with the primary background, unless required by any other applicable law.**

Applicant's Submittal: *"As illustrated in the 'Proposed East Elevation' on Sheet A-2 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed tower would be designed to look as much like a tree as possible, with branches, low-profile antennas colored green to blend with the branches, and a pole colored to match the trunks of the surrounding*

trees. As illustrated in the ‘Shelter Details’ on Sheet A-6 of the attached drawings (Exhibit A – Site Plan and Elevations), the shelter would have an exposed brown aggregate finish. Additionally, the proposed fence and landscaping would further minimize the visibility of the facility.”

Finding 20: The applicant is proposing to use an imitation pine tree that is designed and intended to be as close to a real tree as feasible. As stated and conditioned above, staff is recommending a higher standard of branching density to make the monopine tower more comparable with representative evergreen trees in the area. The applicant has provided product sheets from the monopine tower manufacturer indicating that the tower pole is designed to be natural looking with an epoxy finish that resembles tree bark (Figures 4 & 5).

Figures 4 & 5 – Examples of Manufacturer’s Monopine Tower “Tree Bark” Designs



Source: Larson’s Camouflage Product Sheets

Finding 21: The applicant is proposing to use an earth-toned exposed aggregate finish for the equipment shelter, which will be non-reflective and should be unobtrusive behind the planned vegetative screening. The proposed finish materials for the equipment enclosure and tower pole will minimize visibility of the wireless transmissions system facilities.

Conclusion: This standard has been met.

15) Camouflaged Facilities. All camouflaged WTS facilities shall be designed to visually and operationally blend into the surrounding area in a manner consistent with existing development on adjacent properties. The facility shall also be appropriate for the specific site. In other words, it shall not “stand out” from its surrounding environment.

Applicant’s Submittal: “The proposed WTS facility would be a monopine. As illustrated in the ‘Proposed East Elevation’ on Sheet A-2 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed tower would be designed to look as much like a tree as possible, with branches, low-profile antennas colored green to blend with the branches, and a pole colored to match the trunks of the surrounding trees. As illustrated in the attached photo simulation looking west (Exhibit D – Visual Impact Study, the proposed WTS facility would be located near existing trees of various sizes, which would help the facility blend in with the context of the site.”

Finding 22: The proposed monopine tower should be well camouflaged and blend into the surrounding area, especially as further commercial development occurs on the subject property. At present, most of the property is vacant and open with the exception of a long-vacant commercial building and a residential dwelling that faces Jasper Road. Any type of development on the property will be visible from residential properties on the perimeter, and therefore the camouflage design and provision for screening is particularly important. As previously stated and conditioned in this report, the monopine tower design needs to be consistent with the growth form of evergreen trees in the region.

Conclusion: As conditioned in this report, this standard has been met.

- 16) Façade-Mounted Antenna. Façade-mounted antennas shall be architecturally integrated into the building design and otherwise made as unobtrusive as possible. If possible, antennas shall be located entirely within an existing or newly created architectural feature so as to be completely screened from view. Façade-mounted antennas shall not extend more than 2 feet out from the building face.**

Applicant's Submittal: *"Not applicable. The proposed WTS facility would not be mounted to an existing structure."*

Finding 23: As stated in the applicant's project narrative, the proposed monopine tower is a freestanding structure and is not mounted on a building façade. Therefore, this standard does not apply.

- 17) Roof-Mounted Antenna. Roof-mounted antennas shall be constructed at the minimum height possible to serve the operator's service area and shall be set back as far from the building edge as possible or otherwise screened to minimize visibility from the public right-of-way and adjacent properties.**

Applicant's Submittal: *"Not applicable. The proposed WTS facility would not be mounted to an existing structure."*

Finding 24: As stated in the applicant's project narrative, the proposed monopine tower is a freestanding structure and is not mounted on a rooftop. Therefore, this standard does not apply.

- 18) Compliance with Photo Simulations. As a condition of approval and prior to final staff inspection of the WTS facility, the applicant shall submit evidence, e.g. photos, sufficient to prove that the facility is in substantial conformance with photo simulations provided with the initial application. Non-conformance shall require any necessary modification to achieve compliance within 90 days of notifying the applicant.**

Applicant's Submittal: *"The Applicant will comply with this standard."*

Finding 25: The applicant's photo simulations and project narrative indicate that the proposed wireless transmissions system facility will be exactly as shown on the manufacturer's product sheets. As stated and conditioned previously, staff is recommending a higher branching density of 3 branches per foot to better approximate the growth form of large evergreen trees in the neighborhood and region. Provided the higher branching density design is used, the monopine facility should largely resemble the tower design shown above in Figure 3.

19) Noise. Noise from any equipment supporting the WTS facility shall comply with the regulations specified in OAR 340-035-0035.

Applicant's Submittal: *"As described in the attached noise report (Exhibit E – Noise Report), the equipment supporting the proposed WTS facility would comply with the regulations specified in OAR 340-035-0035."*

Finding 26: The proposed equipment shelter is equipped with cooling units that are designed and intended to operate continuously and as-needed to regulate temperatures for the electronic equipment housed within the shelter. Additionally, a backup diesel generator is to be installed within the shelter, and the generator will be operated on a weekly basis to test the system and maintain functionality.

Finding 27: In accordance with OAR 340-035-0035, the introduction of new noise sources on commercial sites cannot raise ambient noise levels by more than 10 decibels (dBA) as measured an appropriate distance from the noise source – in this case the nearest property line to the north. The applicant's Noise Report indicates that background noise levels on the site are measured at about 48 dBA, which is primarily attributed to passing traffic. According to the submitted Noise Report, the applicant's proposed wireless transmissions system facility will not result in sound levels that are elevated more than 10 decibels above ambient noise levels at the north property line. Measures to address noise include running the cooling units individually instead of in tandem, and providing a muffler for the backup generator. Noise reduction is also a factor of the distance from the source to the receiving body. Because the nearest residential dwelling is more than 340 feet from the proposed noise source, there should be no adverse noise impacts to residential properties.

Conclusion: This standard has been met.

20) Signage. No signs, striping graphics, or other attention-getting devices are permitted on any WTS facility except for warning and safety signage that shall:

- a. Have a surface area of no more than 3 square feet;**
- b. Be affixed to a fence or equipment cabinet; and**
- c. Be limited to no more than 2 signs, unless more are required by any other applicable law.**

Applicant's Submittal: *"As illustrated on Sheet A-8 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed WTS facility would contain only the required warning and safety signage."*

Finding 28: According to the applicant's site plan, the equipment shelter and fence will be equipped with three federally- and state-required warning and safety signs pertaining to radio frequency fields and the presence of corrosive liquids. The safety signs will meet the limitations of SDC 4.3-145.F.20 in all other respects, including but not limited to total surface area and placement of the signs.

Conclusion: This standard has been met.

21) Traffic Obstruction. Maintenance vehicles servicing WTS facilities located in the public or private right-of-way shall not park on the traveled way or in a manner that obstructs traffic.

Applicant's Submittal: *"Not applicable. The proposed WTS facility would not be located in the public or private right-of-way."*

Finding 29: The proposed wireless telecommunications system facility is well-removed from the public rights-of-way for South 42nd Street and Horace Street. Additionally, the applicant's proposed site plan provides for access and parking that is set back from the adjacent public rights-of-way. As proposed, the site design will not cause traffic to be obstructed.

Conclusion: This standard has been met.

22) Parking. No net loss in required on-site parking spaces shall occur as a result of the installation of any WTS facility.

Applicant's Submittal: *"Because there are currently no required on-site parking spaces on the subject property, there would be no net loss in required on-site parking spaces as a result of the installation of the proposed WTS facility."*

Finding 30: The proposed wireless telecommunications system facility is located west of (behind) an existing, vacant commercial building that faces South 42nd Street. The existing building is served by a driveway approach and gravel driveway that is not currently developed to City standards. The applicant is proposing to use the existing driveway approach for access to the equipment shelter, but will be providing a separate access driveway and parking area that is separated from the vacant building. Therefore, the proposed wireless transmissions system facility does not affect the existing or potential future parking for the commercial building on the site.

Conclusion: This standard has been met.

23) Sidewalks and Pathways. Cabinets and other equipment shall not impair pedestrian use of sidewalks or other pedestrian paths or bikeways on public or private land.

Applicant's Submittal: *"As illustrated in the 'Proposed Compound Plan' on Sheet A-1 of the attached drawings (Exhibit A – Site Plan and Elevations), the proposed WTS facility's equipment would all be located within the fenced lease area and would not impair the use of sidewalks, pedestrian paths, or bikeways."*

Finding 31: The proposed wireless transmissions system facility is located internal to the mostly vacant commercial site. There are no existing or planned pedestrian or bicycle facilities that pass through the area occupied by the proposed development. Therefore, the proposal will not have an adverse impact on pedestrian or bicycle movements.

Conclusion: This standard has been met.

24) Lighting. WTS facilities shall not include any beacon lights or strobe lights, unless required by the Federal Aviation Administration (FAA) or other applicable authority. If beacon lights or strobe lights are required, the Approval Authority shall review any

available alternatives and approve the design with the least visual impact. All other site lighting for security and maintenance purposes shall be shielded and directed downward, and shall comply with the outdoor lighting standards in Section 4.5-100, unless required by any other applicable law.

Applicant's Submittal: *"As described in the attached letter from the Oregon Department of Aviation (Exhibit F – FAA/ODA Determinations), no marking or lighting are necessary for aviation safety. As illustrated in the 'Shelter Details' on Sheet A-6 of the attached drawings (Exhibit A – Site Plan and Elevations), the light fixture on the proposed WTS facility's equipment shelter would have a sharp cutoff in order to comply with the outdoor lighting standards."*

Finding 32: The applicant's submittal indicates that no beacon or strobe lights are required or planned for the monopine tower. The proposed equipment shelter light is mounted at an 8-foot level and is designed to be shielded and fully downcast to prevent glare and light trespass onto neighboring properties.

Conclusion: This standard has been met.

- 25) Landscaping. For WTS facilities with towers that exceed the height limitations of the base zone, at least 1 row of evergreen trees or shrubs, not less than 4 feet high at the time of planting, and spaced out not more than 15 feet apart, shall be provided in the landscape setback. Shrubs shall be a variety that can be expected to grow to form a continuous hedge at least 5 feet in height within 2 years of planting. Trees and shrubs in the vicinity of guy wires shall be of a kind that would not exceed 20 feet in height or would not affect the stability of the guys. In all other cases, the landscaping, screening and fence standards specified in Section 4.4-100 shall apply.**

Applicant's Submittal: *"As illustrated on Sheet A-1.1 of the attached drawings (Exhibit A – Site Plan and Elevations), the landscaping surrounding the proposed facility would comply with the landscaping, screening, and fence standards."*

Finding 33: The proposed wireless transmissions system tower does not exceed the height limitations of the base Community Commercial zoning district. Although not specifically required, the applicant is proposing to plant shrubs that will be about 5 feet apart and that should form a screening hedge upon maturity. Review of the applicant's proposed landscaping plan is detailed in the accompanying staff report and recommended conditions for the Site Plan Review application (Case TYP215-00012).

26) Prohibited WTS Facilities.

- a. Any high or moderate visibility WTS facility in the Historic Overlay District.**
- b. Any WTS facility in the public right-of-way that severely limits access to abutting property, which limits public access or use of the sidewalk, or which constitutes a vision clearance violation.**
- c. Any detached WTS facility taller than 150 feet above finished grade at the base of the tower.**

Applicant's Submittal: *"The proposed WTS facility is not within the Historic Overlay District or the public right-of-way and would not be taller than 150 feet. Therefore, it is not a prohibited facility."*

Finding 34: As stated and depicted in the applicant's project narrative and submittal materials, the proposed monopine tower is an allowable facility in the Community Commercial zoning district. The proposed development is not within the Historic Overlay District or the public right-of-way, and is not taller than 150 feet above finished grade. As such, the proposed monopine tower is not classified as a prohibited wireless transmissions system facility. Therefore, this standard does not apply.

Conclusion: This standard has been met.

27) Speculation. No application shall be accepted or approved for a speculation WTS tower, ie. from an applicant that simply constructs towers and leases tower space to service carriers, but is not a service carrier, unless the applicant submits a binding written commitment or executed lease from a service carrier to utilize or lease space on the tower.

Applicant's Submittal: *"The Applicant represents Verizon Wireless and is not proposing a speculation WTS facility."*

Finding 35: The applicant's project narrative and submittal materials indicate that the wireless carrier (Verizon Wireless) is proposing the monopine tower as a necessary component of their network facilities in Springfield, both in terms of maintaining coverage and improving capacity. Therefore, this standard does not apply.

Conclusion: This standard has been met.

2. Alternative design standards for multifamily development are exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 3.2-245.

Finding 36: The proposed development is not a multi-family residential facility. Therefore, this criterion does not apply.

3. Fences requiring Discretionary Use approval are exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 4.4-115.C.

Finding 37: The proposed development does not include a fence requiring Discretionary Use approval. Therefore, this criterion does not apply.

4. The siting of public elementary, middle and high schools requiring Discretionary Use approval is exempt from Subsections A – C above, but shall comply with the approval criteria specified in Section 4.7-195.

Finding 38: The proposed development is not a public school. Therefore, this criterion does not apply.

Conclusion: Staff has reviewed the application and supporting information submitted by the applicant for the Discretionary Use request. Based on the above-listed criteria, staff finds that the proposal meets criterion D.1 of SDC 5.9-120. Staff recommends support for the request as the proposal meets the stated criteria for Discretionary Use approval. Additionally, approval of the Discretionary Use would facilitate approval of the accompanying Site Plan Review application for a wireless telecommunications system submitted under separate cover (Case TYP215-00012).

Conditions of Approval

SDC Section 5.9-125 allows for the Approval Authority to attach conditions of approval to a Discretionary Use request to ensure the application fully meets the criteria of approval. The specific language from the code section is cited below:

5.9-125 CONDITIONS

The Approval Authority may attach conditions as may be reasonably necessary in order to allow the Discretionary Use approval to be granted.

Staff has reviewed the Discretionary Use request and supporting information provided by the applicant, and recommends the following condition of approval:

RECOMMENDED CONDITION OF APPROVAL:

- 1. The monopine wireless transmissions system facility shall be a three (3) branch per foot facility as depicted in the manufacturer's product sheets provided by Larson's Camouflage.**

The proposed wireless telecommunications system facility has been reviewed and recommended conditions of approval are also described in the Site Plan Review application for this development submitted under separate cover (Case TYP215-00012).

Based on the applicant's submittal and testimony provided at the public hearing, the Planning Commission may choose to apply conditions of approval as necessary to comply with the Discretionary Use criteria.

Additional Approvals

The subject Discretionary Use request is the necessary first step for the applicant to proceed with development plans for the site. The companion Site Plan Review application (Case TYP215-00012) is intended to address the specific Development Code and detailed site planning requirements for the proposed wireless telecommunications system facility.



TYPE II TENTATIVE SITE PLAN REVIEW, STAFF REPORT & RECOMMENDED CONDITIONS

Project Name: Verizon Wireless Site Plan Review

Project Proposal: Construct a 90-foot high monopine wireless transmissions system facility on a mostly undeveloped commercial site

Case Number: TYP215-00012

Project Location: 4164 Jasper Road
(Map 18-02-05-23, TL 100)

Zoning: Community Commercial (CC)

Comprehensive Plan Designation:
CC (*Metro Plan*)

Overlay Districts: Drinking Water
Protection Overlay District (DWP)

Pre-Submittal Meeting Date: April 17, 2015

Application Submitted Date: May 1, 2015

Planning Commission Meeting Date:
June 2, 2015

Appeal Deadline Date: June 17, 2015

Associated Applications: PRE14-00052 (Development Issues Meeting); PRE15-00019 (Pre-Submittal); TYP315-00003 (Discretionary Use)



APPLICANT'S DEVELOPMENT REVIEW TEAM

Applicant: Lauren Russell SmartLink LLC 621 SW Alder Street Suite 660 Portland, OR 97205	Property Owner: John Erving, Broker Jasper Junction LLC 85831 Parklane Circle Pleasant Hill, OR 97455	Project Engineer: Raymond Jacobson, PE Acom Consulting Inc. 1125 SE Clatsop Street Portland, OR 97202
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CITY OF SPRINGFIELD'S DEVELOPMENT REVIEW TEAM

POSITION	REVIEW OF	NAME	PHONE
Project Manager	Planning	Andy Limbird	541-726-3784
Transportation Planning Engineer	Transportation	Michael Liebler	541-736-1034
Public Works Engineer	Utilities	Kyle Greene	541-726-5750
Public Works Engineer	Sanitary & Storm Sewer	Kyle Greene	541-726-5750
Deputy Fire Marshal	Fire and Life Safety	Gilbert Gordon	541-726-2293
Building Official	Building	David Bowlsby	541-736-1029

Site Information: The subject development site is a mostly vacant commercial property on the west side of South 42nd Street and north of Jasper Road. The commercial property is bisected by an undeveloped segment of Horace Street right-of-way that extends from its current terminus at the west boundary of the site to South 42nd Street. The north half of the property contains a vacant 4,000 ft² commercial shell building with gravel driveway approach from South 42nd Street. The proposed wireless telecommunications system facility – a 90-foot tall monopine tower – is located on the north half of the property. The south half of the property contains an existing, non-conforming residential dwelling that faces Jasper Road.

In accordance with SDC 4.3-145.E and SDC Table 4.3-1, wireless telecommunications system facilities designed as imitation trees are classified as moderate visibility facilities. Moderate visibility facilities are allowable in the Community Commercial (CC) district subject to Discretionary Use approval. The applicant submitted a Discretionary Use Request for a 90-foot tall monopine wireless telecommunications system facility under separate cover (Case TYP315-00003). The Springfield Planning Commission will be conducting a public hearing to adjudicate the Discretionary Use request at a regular meeting on June 2, 2015. A Discretionary Use permit is required for the submitted site plan to be approved for the subject property.

The site is zoned and designated CC in accordance with the Springfield Zoning Map and the adopted *Metro Plan* diagram. Other properties in the vicinity of the subject site are zoned Medium Density Residential (west of the site); Low Density Residential (south and east of the site); and Community Commercial (north of the site).

The site is within the mapped 20+ Year Time of Travel Zone (TOTZ) for the 16th & Q Street drinking water wellhead and, therefore, is subject to the 20+ Year TOTZ provisions of the Drinking Water Protection Overlay District, SDC 3.3-200. Provisions for water quality protection during site construction and operation have been inserted as conditions of this decision in order to protect local surface waters and groundwater resources.

DECISION: This decision grants Tentative Site Plan Approval. The standards of the Springfield Development Code (SDC) applicable to each criterion of Site Plan Approval are listed herein and are satisfied by the submitted plans unless specifically noted with findings and conditions necessary for compliance. Final Site Plans must conform to the submitted plans as conditioned herein. This is a limited land use decision made according to City code and state statutes. Unless appealed, the decision is final. Please read this document carefully.

(See Page for a summary of the recommended conditions of approval.)

OTHER USES AUTHORIZED BY THE DECISION: None. Future development will be in accordance with the provisions of the Springfield Development Code, filed easements and agreements, and all applicable local, state and federal regulations.

REVIEW PROCESS: This application is reviewed under Type II procedures listed in Springfield Development Code Section 5.1-130 and the site plan review criteria of approval SDC 5.17-125. The subject application was submitted and deemed complete on May 1, 2015. Therefore, this application is being reviewed by the Planning Commission on the 32nd day of the 120 days mandated by the State.

Procedural Finding: Applications for Limited Land Use Decisions require the notification of property owners/occupants within 300 feet of the subject property allowing for a 14 day comment period on the application (SDC Sections 5.1-130 and 5.2-115). The applicant and parties submitting written comments during the notice period have appeal rights and are mailed a copy of this decision for consideration (See Written Comments below and Appeals at the end of this decision).

Procedural Finding: On May 19, 2015, the City's Development Review Committee reviewed the proposed plans (15 Sheets – SmartLink LLC and Acom Consulting Inc. Sheets T1-T2, A0-A8 and RF-1; and McKay Consulting LLC unnumbered topographic survey sheet) and other supporting information. City staff's review comments have been reduced to findings and recommended conditions only as necessary for compliance with the Site Plan Review criteria of SDC 5.17-125.

Procedural Finding: In accordance with SDC 5.17-125 to 5.17-135, the Final Site Plan shall comply with the requirements of the SDC and the conditions imposed by the Planning Commission in this decision. The Final Site Plan otherwise shall be in substantial conformity with the tentative plan reviewed. Portions of the proposal approved as submitted during tentative review cannot be substantively changed during Final Site Plan approval. Approved Final Site Plans (including Landscape Plans) shall not be substantively changed during Building Permit Review without an approved Site Plan Modification Decision.

WRITTEN COMMENTS:

Procedural Finding: In accordance with SDC 5.1-130 and 5.2-115, notice was sent to adjacent property owners/occupants within 300 feet of the subject site on May 12, 2015. One written comment was received from Robert and Diane Ronning, 4050 Jasper Road, Springfield 97478:

“We own property on Horace St. and are very much opposed to any development on it as we are living on a fixed income and any more assessment to it would make it very difficult for us, as we are both in our late 70’s. So we are both opposed to this development. We beg you to vote against this.”

Staff Response: As stated in the accompanying report on the Discretionary Use request (Case TYP315-00003), the proposed wireless transmissions system facility is located on a mostly vacant commercial property to the northwest of the residential dwellings on Horace Street. Installation of the proposed cellular tower should have no financial impact to adjacent residential property owners. The residential properties on Horace Street are not annexed to the City of Springfield, so changes to Lane County levies or taxation rates could have potential impacts to their property tax assessments. However, it is the opinion of staff that such changes to property tax assessments would be entirely separate from and not influenced by the current development proposal.

CRITERIA OF SITE PLAN APPROVAL:

SDC 5.17-125, Site Plan Review Standards, Criteria of Site Plan Approval states, “the Director shall approve, or approve with conditions, a Type II Site Plan Review Application upon determining that criteria A through E of this Section have been satisfied. If conditions cannot be attached to satisfy the criteria, the Director shall deny the application.”

A. The zoning is consistent with the Metro Plan diagram, and/or the applicable Refinement Plan diagram, Plan District map, and Conceptual Development Plan.

Finding 1: The site is zoned and designated Community Commercial in accordance with the Springfield Zoning Map and the adopted Metro Plan diagram. The applicant is not proposing to change the zoning for the site.

Conclusion: This proposal satisfies Criterion A.

B. Capacity requirements of public improvements, including but not limited to, water and electricity; sanitary sewer and stormwater management facilities; and streets and traffic safety controls shall not be exceeded and the public improvements shall be available to serve the site at the time of development, unless otherwise provided for by this Code and other applicable regulations. The Development & Public Works Director or a utility provider shall determine capacity issues.

Finding 2: Approval of this proposal would allow for construction of a 90-foot tall monopine wireless transmissions system facility (ie. camouflage cell tower) with a 312 ft² equipment shelter, fenced enclosure, and screening landscaping on a mostly vacant commercial parcel.

Finding 3: For all public improvements, the applicant shall retain a private professional civil engineer to design the site improvements in conformance with City codes, this decision, and the current *Engineering Design Standards and Procedures Manual* (EDSPM). The private civil engineer also shall be required to provide construction inspection services.

Finding 4: The Development Review Committee reviewed the proposed site plan and landscaping plan on May 19, 2015. City staff's review comments have been incorporated in findings and recommended conditions contained herein.

Conclusion: The proposal satisfies this sub-element of the criterion.

Water and Electricity Improvements

Finding 5: SDC 4.3-130 requires each development area to be provided with a water system having sufficiently sized mains and lesser lines to furnish adequate supply to the development and sufficient access for maintenance. Springfield Utility Board (SUB) coordinates the design of the water system within Springfield city limits.

Finding 6: The proposed development is a non-combustible wireless telecommunications system tower with a utility enclosure that is not designed or intended for continuous occupation. There is no water service proposed to the site and none is required.

Finding 7: The applicant is proposing to install underground electricity and telecommunication lines from a connection point at the northeast corner of the property to the utility enclosure. The applicant has not clarified whether they will require high voltage or secondary voltage service to the proposed equipment enclosure. To accommodate the underground utility lines, a utility easement will be necessary. SUB Electric requests a 7-foot wide utility easement centered on a high voltage line; or 5-foot wide utility easement centered on a secondary voltage line. The easement should extend from the connection point at the edge of the South 42nd Street right-of-way to the termination point at the utility enclosure.

Finding 8: SUB Electric requests provision for access to the fenced compound to allow for meter reading or to pull the meter in the event of an emergency. Access to the compound can be provided by way of a SUB-installed lock used in tandem with a Verizon Wireless lock, or a key to the Verizon Wireless lock issued to SUB personnel.

Recommended Conditions of Approval:

- 1. The Final Site Plan shall provide for a utility easement satisfactory to SUB Electric for the underground electrical and telecommunication lines serving the development site.**
- 2. The Final Site Plan shall provide for installation of a SUB Electric supplied lock or issuance of a key to SUB Electric personnel for the fenced compound surrounding the utility enclosure. Access to the fenced compound shall be afforded SUB Electric personnel for the purpose of reading the electrical meter or pulling the meter in the event of an emergency.**

Conclusion: The existing SUB Water and Electric facilities are adequate to serve the site. As conditioned herein, the proposal satisfies this sub-element of the criterion.

Sanitary Sewer and Stormwater Management Facilities

Sanitary Sewer

Finding 9: Section 4.3-105.A of the SDC requires that sanitary sewers shall be installed to serve each new development and to connect developments to existing mains. Additionally, installation of sanitary sewers shall provide sufficient access for maintenance activities.

Finding 10: The proposed wireless telecommunications system facility is designed and intended as a non-occupied utility enclosure. There is no water service or floor drains planned for the development site. Therefore, sanitary sewer service is not required.

Conclusion: The proposal satisfies this sub-element of the criterion.

Stormwater Management (Quantity)

Finding 11: SDC 4.3-110.B requires that the Approval Authority shall grant development approval only where adequate public and/or private stormwater management systems provisions have been made as determined by the Development & Public Works Director, consistent with the EDSPM.

Finding 12: SDC 4.3-110.C states that a stormwater management system shall accommodate potential runoff from its entire upstream drainage area, whether inside or outside of the development.

Finding 13: SDC 4.3-110.D requires that runoff from a development shall be directed to an approved stormwater management system with sufficient capacity to accept the discharge.

Finding 14: SDC 4.3-110.E requires new developments to employ drainage management practices that minimize the amount and rate of surface water runoff into receiving streams, and that promote water quality.

Finding 15: The proposed development will not create an appreciable amount of impervious surface requiring constructed stormwater management facilities. Rooftop drainage will be discharged to the gravel compound and either infiltrate or flow overland to the perimeter landscaping buffer. Overflow drainage from the proposed development site, if any, will not affect the public stormwater management system or adjacent properties. Therefore, no stormwater management facilities are required for the subject development.

Conclusion: The proposal satisfies this sub-element of the criterion.

Stormwater Management (Quality)

Finding 16: Under Federal regulation of the Clean Water Act (CWA), Endangered Species Act (ESA), and National Pollutant Discharge Elimination System (NPDES), the City of Springfield is required to obtain, and has applied for, a Municipal Separate Storm Sewer System (MS4) permit. A provision of this permit requires the City to demonstrate efforts to reduce the pollution in urban stormwater to the Maximum Extent Practicable (MEP).

Finding 17: Federal and Oregon Department of Environmental Quality (ODEQ) rules require the City's MS4 plan to address six "Minimum Control Measures". Minimum Control Measure 5, "Post-Construction Stormwater Management for New Development and Redevelopment", applies to the proposed development.

Finding 18: Minimum Control Measure 5 requires the City of Springfield to develop, implement and enforce a program to ensure the reduction of pollutants in stormwater runoff to the MEP. The City also must develop and implement strategies that include a combination of structural or non-structural Best Management Practices (BMPs) appropriate for the community.

Finding 19: Minimum Control Measure 5 requires the City of Springfield to use an ordinance or other regulatory mechanism to address post-construction runoff from new and re-development projects to the extent allowable under State law. Regulatory mechanisms used by the City include the SDC, the City's *Engineering Design Standards and Procedures Manual* and the *Stormwater Facilities Master Plan (SFMP)*.

Finding 20: As required in SDC 4.3-110.E, "a development shall be required to employ drainage management practices approved by the Development & Public Works Director and consistent with *Metro Plan* policies and the *Engineering Design Standards and Procedures Manual*".

Finding 21: Section 3.02 of the City's EDSPM states the Development & Public Works Department will accept, as interim design standards for stormwater quality, water quality facilities designed pursuant to the policies and procedures of the City of Eugene Stormwater Management Manual.

Finding 22: Section 3.03.3.B of the City’s EDSPM states all public and private development and redevelopment projects shall employ a system of one or more post-developed BMPs that in combination are designed to achieve at least a 70 percent reduction in the total suspended solids in the runoff generated by the development. Section 3.03.4.E of the manual requires a minimum of 50 percent of the non-building rooftop impervious area on a site shall be treated for stormwater quality improvement using vegetative methods.

Finding 23: The proposed wireless telecommunications system facility (monopine tower), gravel compound, and utility enclosure will create less than 500 ft² of new non-rooftop impervious area. Therefore, no stormwater quality treatment is required or recommended as a part of the proposed site development.

Conclusion: The proposal satisfies this sub-element of the criterion.

Streets and Traffic Safety Controls

Finding 24: The subject site is on the north half of a commercial parcel that is bisected by a segment of undeveloped Horace Street right-of-way. The north half of the site has approximately 140 feet of frontage on South 42nd Street along the east boundary. Along the site frontage, South 42nd Street is a fully improved minor arterial street with striped vehicle and bicycle lanes, curb, gutter, sidewalk, street trees and street lighting. The applicant is not proposing to improve the frontage beyond the existing condition, and no public street improvements are required for the proposed development.

Finding 25: It is expected that the existing transportation facilities would be adequate to accommodate the anticipated vehicular and pedestrian traffic patterns generated by the proposed development in a safe and efficient manner.

Conclusion: The proposal satisfies this sub-element of the criterion.

C. The proposed development shall comply with all applicable public and private design and construction standards contained in this Code and other applicable regulations.

Finding 26: Criterion C contains three different elements with sub-elements and applicable code standards. The site plan application as submitted complies with the code standards listed under each sub-element unless otherwise noted with specific findings and conclusions. The elements, sub-elements and code standards of Criterion C include but are not limited to:

1. Infrastructure Standards in accordance with SDC 4.1-100, 4.2-100 & 4.3-100
 - Water Service and Fire Protection (4.3-130)
 - Public and Private Easements (4.3-120 – 4.3-140)
 - Wireless Telecommunications System Facilities (4.3-145)
2. Conformance with standards of SDC 5.17-100, Site Plan Review, and SDC 3.2-300 Community Commercial Zoning District
 - Community Commercial Schedule of Uses (3.2-310)
 - Community Commercial District Development Standards (3.2-315)
 - Landscaping, Screening and Fence Standards (4.3-145.F.13, 4.3-145.F.25 & 4.4-100)
 - On-Site Lighting Standards (4.5-100)
 - Vehicle Parking, Loading and Bicycle Parking Standards (4.6-100)
 - Specific Development Standards for Accessory Structures (4.7-105)
3. Overlay Districts and Applicable Refinement Plan Requirements
 - Drinking Water Protection Overlay District

C.1 Public and Private Improvements in accordance with SDC 4.1-100, 4.2-100 & 4.3-100

Water Service and Fire Protection (4.3-130)

Access

Finding 27: All fire apparatus access routes are to be paved all-weather surfaces able to support an 80,000 lb. imposed load in accordance with the 2014 Springfield Fire Code (SFC) 503.2.3 and SFC Appendix D102.1. Access to the project area is afforded from South 42nd Street. The nearest responding fire station (Station #14) is located at 4765 Main Street.

Water Supply

Finding 28: The proposed equipment enclosure will be classified as a Type U (utility) building occupancy. In accordance with SFC 503.1.1, Exception 3, fire access and water supply requirements will not apply provided there are not more than two U-class occupancies on the property.

Finding 29: The site development reviewed by the Eugene-Springfield Fire Department proposed a natural gas powered backup generator. The applicant has since changed the design to a diesel-powered backup generator, but the Fire Department has not reviewed and commented on this change. The applicant's Final Site Plan will need to provide for Fire Department review, and incorporate any fire protection requirements necessary to address the use and storage of diesel fuel on the site. Additionally, the proposed use of diesel fuel will trigger requirements for Fire Code operational permits and inspections, and Drinking Water Protection Overlay District permitting including but not limited to secondary containment requirements. The Drinking Water Protect Overlay District requirements are discussed in Section C.3 of this report.

Recommended Condition of Approval:

- 3. The Final Site Plan shall provide for any Eugene-Springfield Fire Department requirements as may be necessary to address the change from a natural gas powered to a diesel fuel powered backup generator. Any required changes to the fire protection measures for the site shall be depicted on the Final Site Plan and addressed in the applicant's response to the conditions of approval imposed by the Planning Commission with this decision.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

Public and Private Easements (4.3-120 – 4.3-140)

Finding 30: SDC 4.3-140.A requires applicants proposing developments to make arrangements with the City and each utility provider for the dedication of utility easements necessary to fully service the development or land beyond the development area. The minimum width for PUEs adjacent to street rights-of-way and internal to private properties shall be 7 feet, unless the Development & Public Works Director requires a larger easement to allow for adequate maintenance access.

Finding 31: The subject property has existing 7-foot wide PUEs along the South 42nd Street frontage of the site and along the north and south edges of the undeveloped Horace Street right-of-way. Therefore, no additional street side rights-of-way are required for the proposed development.

Finding 32: As stated and conditioned previously in this report, a utility easement will be required to accommodate the underground electrical and telecommunication lines serving the site.

Conclusion: Safe and efficient provision of public access and utilities requires the provision of corresponding access and utility easements. The proposal satisfies this sub-element of the criterion.

Wireless Transmissions System Facilities (4.3-145)

Finding 33: In accordance with SDC 4.3-145.E, the Planning Commission is the approval authority for moderate visibility wireless telecommunications system facilities in Springfield. Imitation trees such as the proposed monopine tower are classified as a moderate visibility facility. In accordance with SDC Table 4.3-1, moderate visibility facilities are allowable in the Community Commercial district subject to Discretionary Use approval. Therefore, the proposed development requires approval of a Discretionary Use permit initiated by Case TYP315-00003 and approval of a Tentative Site Plan initiated by the subject application, Case TYP315-00012.

Finding 34: Specific details of the proposed wireless telecommunications system facility, including recommended modifications to the applicant's proposed monopine tower design, are reviewed and addressed in the staff report for the Discretionary Use permit submitted under separate cover (Case TYP315-00003) and incorporated herein by reference.

Recommended Condition of Approval:

- 4. Prior to approval of the Final Site Plan, the applicant shall obtain Discretionary Use approval for a moderate visibility wireless telecommunications system facility as initiated by Case TYP315-00003.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

C.2 Conformance with Standards of SDC 5.17-100, Site Plan Review, and SDC 3.2-300, Community Commercial Zoning District

Community Commercial Schedule of Uses (3.2-310)

Finding 35: In accordance with SDC 3.2-310, wireless telecommunications system facilities are allowable in the CC District subject to the special provisions of SDC 4.3-145. SDC Table 4.3-1 states that moderate visibility wireless telecommunications system facilities such as a monopine (ie. imitation tree) are allowable in the CC District subject to Discretionary Use permitting.

Finding 36: The applicant has submitted a request for Discretionary Use approval for the subject development under separate cover (Case TYP315-00003) and is incorporated herein by reference. The Discretionary Use request will be reviewed by the Planning Commission at a public hearing meeting on June 2, 2015.

Conclusion: The proposal satisfies this sub-element of the criterion.

Community Commercial Standards (3.2-315)

Finding 37: In accordance with SDC 3.2-315, the minimum parcel size for properties in the CC District is 6,000 ft² with at least 50 feet of public street frontage.

Finding 38: The proposed development site is approximately 85,250 ft² (1.96 acres) with about 140 feet of frontage on South 42nd Street and 510 feet of frontage on undeveloped Horace Street. The parcel size and frontages meet the requirements of SDC 3.2-315.

Finding 39: In accordance with SDC 3.2-315, the minimum setbacks for structures is 10 feet for front, rear and street side yards, and 5 feet for interior side yards.

Finding 40: The proposed development has a 210-foot setback from the east (front yard) property line; a 90-foot setback from the south (street side yard) property line; a 260-foot setback from the west (rear yard) property line; and a 21-foot setback from the north (interior side yard) property line. The proposed setbacks meet the requirements of SDC 3.2-315.

Finding 41: In accordance with SDC 3.2-315, there is no maximum building height for structures within the CC District provided the development site is more than 50 feet from a residential district property line.

Finding 42: The proposed monopine tower is 90 feet high and is located more than 265 feet from the nearest residential property line, which meets the requirements of SDC 3.2-315.

Finding 43: In accordance with SDC 3.2-315, there is no maximum lot coverage for structures within the CC District provided the required building and parking lot setbacks are observed.

Finding 44: The proposed development site occupies a fractional amount of the potential site building coverage, which meets the requirements of SDC 3.2-215.

Conclusion: The proposal satisfies this sub-element of the criterion.

Landscaping, Screening and Fence Standards (4.3-145.F.13, 4.3-145.F.25 & 4.4-100)

Finding 45: In accordance with SDC 4.4-100, all required setbacks are to be landscaped. Acceptable forms of landscaping include trees, shrubs, turf grass and ground cover plants. The site is mostly vacant and there are existing trees along the north and west boundaries of the property. The applicant is not proposing to remove any of the existing trees on the site. Additionally, the proposed development site occupies only a small component of the overall commercial site. It is expected that further and more intensive commercial site development will occur in the future. At such time as the site is developed or redeveloped, provisions for landscaping will need to be incorporated into the site design.

Finding 46: In accordance with SDC 4.3-145.F.25, additional screening vegetation is required for wireless telecommunications system facilities that exceed the height limitations of the base zone. The applicant's proposed 90-foot tall monopine tower does not exceed the height limitations of the district.

Finding 47: In accordance with SDC 4.3-145.F.13, the visibility of wireless transmissions system facilities are to be minimized to the greatest extent practicable by camouflage, screening and landscaping. The applicant's proposed landscaping plan (Sheet A-1.1) provides for installation of drought-tolerant vegetation that will form a screening hedge as it matures. After an additional establishment period, the vegetation is intended to be low-maintenance and non-irrigated.

Finding 48: As part of the site landscaping plan, the applicant is proposing to plant Leyland cypress trees on the perimeter of the fenced enclosure to provide initial and long-term screening of the facility as the trees grow and mature. Leyland cypress trees are notable for being a hardy, fast-growing tree that forms a dense screen within a relatively short timeframe. The trees can reach a height of 50 feet or taller under optimal conditions.

Conclusion: The proposal satisfies this sub-element of the criterion.

On-Site Lighting Standards (4.5-100)

Finding 49: In accordance with SDC 4.5-110.B.2.b, the maximum height of a freestanding light fixture within a commercial district is the height of the principal building on the site or 25 feet, whichever is less. According to the applicant's site plan, the utility enclosure is 10.5 feet high at the roofline. The applicant is proposing to mount a security light at the 8-foot level on the south exterior wall of the utility enclosure. The light is proposed to be a downcast, pedestrian-scale light with sharp cutoff to prevent glare and light trespass onto neighboring properties. The size and positioning of the proposed building light should not have any adverse effect on neighboring residential properties.

Conclusion: The proposal satisfies this sub-element of the criterion.

Vehicle Parking, Loading and Bicycle Parking Standards (4.6-100)

Finding 50: In accordance with SDC Tables 4.6-2 and 4.6-3, there is no vehicle or bicycle parking requirement for unoccupied utility facilities. Verizon Wireless personnel visiting the site for occasional maintenance will park on the gravel driveway outside the fenced compound. There will be no impacts to public streets or adjacent commercial development.

Conclusion: The proposal satisfies this sub-element of the criterion.

Specific Development Standards for Accessory Structures (4.7-105)

Finding 51: In accordance with SDC 4.7-105, provisions for structures that are incidental to principal uses on the site are intended to prevent them from becoming the predominant element on the site. Accessory structure provisions are primarily directed at residential uses, but have application for the subject proposal because there is partial commercial development on the site and more is likely to occur in the future. Additionally, the proposed development site is bounded on three sides by residential zoning districts.

Finding 52: In accordance with SDC 4.7-105.B.1, accessory structures may be located anywhere on a site if they are not within a required building setback. In accordance with SDC 4.7-105.C.4, accessory structures need to meet required building setbacks specified in SDC 3.2-315. The proposed utility enclosure meets the required building setbacks for the Community Commercial district. Therefore, this standard has been met.

Finding 53: In accordance with SDC 4.7-105.B.2, accessory structures are to be constructed in conjunction with or after construction of a primary structure. The proposed utility enclosure is behind (west) an existing, vacant commercial shell building that faces South 42nd Street. The existing commercial building is considered the primary structure on the site. Therefore, this standard has been met.

Finding 54: In accordance with SDC 4.7-105.C.2, accessory structures cannot have more square footage than the primary structure. The existing primary commercial structure is 4,000 ft² and the proposed utility enclosure is about 312 ft². Therefore, this standard has been met.

Finding 55: In accordance with SDC 4.7-105.C.3, accessory structures can be as high as the primary structure provided that solar access provisions are met. The existing building is about 16 feet high and the proposed utility enclosure is 10.5 feet high. Therefore, this standard has been met.

Conclusion: The proposal satisfies this sub-element of the criterion.

C.3 Overlay Districts and Applicable Refinement Plan Requirements

Finding 56: The site is outside of an adopted Refinement Plan area so the provisions of the adopted *Metro Plan* apply. The development site is already zoned and designated CC in accordance with the *Metro Plan* diagram, which meets this requirement.

Finding 57: The subject site is located within the mapped 20+ year Time of Travel Zone (TOTZ) for the 16th & Q Street drinking water wellhead. Therefore, the site is subject to provisions of the 20+ year TOTZ Drinking Water Protection Overlay District found in SDC 3.3-235.D. The applicant's submitted site plan indicates that a natural gas powered backup generator will be installed to serve the wireless telecommunications system facility. A natural gas fired generator would qualify for a Drinking Water Protection Exemption. However, the applicant has recently changed their proposal to a diesel-fired generator. The change to a diesel fuel system requires a review by the Fire Department and SUB Drinking Water Source Protection and may trigger the requirement for a Drinking Water Protection Overlay District Permit. The applicant will be responsible for obtaining a Drinking Water Protection Permit or Exemption in accordance with City and SUB requirements.

Finding 58: The applicant has submitted a Drinking Water Protection Overlay District Permit application under separate cover (Case TYP115-00025), which is incorporated herein by reference. Staff approval of the Drinking Water Protection permit will be contingent upon Planning Commission approval of the Discretionary Use request submitted under separate cover (Case TYP315-00003) and the subject Site Plan Review application, Case TYP215-00012.

Finding 59: As a “Best Practices” recommendation for this site, care must be taken during site construction and operation to prevent contamination from chemicals that may spill or leak onto the ground surface, including fuel and automotive fluids (such as lubricants and antifreeze, etc.). Fluid-containing equipment, including vehicles parked on the site, shall be monitored for leaks and spills. Any chemical spills or leaks must be cleaned up immediately and cleanup materials disposed off-site in accordance with Lane County and State DEQ requirements.

Finding 60: The applicant shall provide the following notes regarding drinking water protection on the site construction plans:

“Chemical spills or leaks at this location have the potential to contaminate Springfield’s drinking water supply. Any chemical spills or leaks shall be cleaned up immediately and clean-up materials disposed off-site in accordance with Lane County and DEQ requirements.

Chemical handling, storage, and use: Contractors/developers shall be responsible for the safe handling and storage of chemicals, petroleum products, and fertilizers and the prevention of groundwater and storm water runoff contamination. Chemicals used during construction, including paint and cleaning materials/wastes, must not enter the soil or be washed into the storm water system. All chemicals should be stored in adequate secondary containment.

Equipment maintenance and fueling: Precautions must be taken to prevent fluid-containing equipment located outside from leaking, including providing a dedicated area for fueling and maintenance of equipment. This area should be prepared and maintained in a way that prevents spills or leaks from migrating to the soil or storm water drainage system.

No fill materials containing hazardous materials shall be used on this site.”

Finding 61: The applicant will need to install a wellhead protection sign at the diesel fuel generator to remind employees of the importance of cleaning up and reporting fuel spills. Wellhead protection signs are available from SUB Drinking Water Source Protection – please contact Amy Chinitz at 541-744-3745 for further information.

Recommended Conditions of Approval:

- 5. Prior to approval of the Final Site Plan, the applicant shall obtain approval for a Drinking Water Protection Permit initiated by Case TYP115-00025.**
- 6. The site construction plans shall include notes detailing drinking water protection practices to be used on the site, as detailed in Finding 60 of the Staff Report and Planning Commission Decision on the Site Plan Review application, Case TYP215-00012.**
- 7. The Final Site Plan shall provide for installation of a wellhead protection sign for the diesel fuel generator.**

Conclusion: As conditioned herein, the proposal satisfies this sub-element of the criterion.

D. Parking areas and ingress-egress points have been designed to: facilitate vehicular traffic, bicycle and pedestrian safety to avoid congestion; provide connectivity within the development area and to adjacent residential areas, transit stops, neighborhood activity centers, and commercial, industrial and public areas; minimize curb cuts on arterial and collector streets as specified in this Code or other applicable regulations and comply with the ODOT access management standards for State highways.

Finding 62: Installation of driveways on a street increases the number of traffic conflict points. The greater number of conflict points increases the probability of traffic crashes. Effective ways to reduce the probability of traffic crashes include: reducing the number of driveways; increasing distances between intersections and driveways; and establishing adequate vision clearance areas where driveways intersect streets. Each of these techniques permits a longer, less cluttered sight distance for the motorist, reduces the number and difficulty of decisions that drivers must make, and contributes to increased traffic safety.

Finding 63: In accordance with SDC 4.2-120.C, site driveways shall be designed to allow for safe and efficient vehicular ingress and egress as specified in Tables 4.2-2 through 4.2-5, the City's EDSPM, and the Springfield Development & Public Works Department's Standard Construction Specifications. Ingress-egress points must be planned to facilitate traffic and pedestrian safety, avoid congestion, and minimize curb cuts on public streets.

Finding 64: The applicant is proposing to use an existing commercial driveway onto South 42nd Street at the east edge of the site. The existing site driveway is suitable for the proposed use, which is limited to construction traffic during initial installation of the wireless telecommunications system facility and occasional maintenance vehicles thereafter.

Finding 65: In accordance with SDC 4.2-120.A.1 and Table 4.2-2, driveways onto public streets that are improved with curb and gutter need to be paved at least 18 feet into the site. A paved driveway apron is particularly important on a minor arterial street such as South 42nd Street to prevent tracking of gravel and debris into the vehicle and bicycle travel lanes. According to the applicant's proposed site plan, the driveway apron will be paved at least 18 feet into the site to meet this standard.

Conclusion: The proposal satisfies this criterion.

E. Physical features, including, but not limited to: steep slopes with unstable soil or geologic conditions; areas with susceptibility of flooding; significant clusters of trees and shrubs; watercourses shown on the Water Quality Limited Watercourse Map and their associated riparian areas; wetlands; rock outcroppings; open spaces; and areas of historic and/or archaeological significance, as may be specified in Section 3.3-900 or ORS 97.740-760, 358.905-955 and 390.235-240, shall be protected as specified in this Code or in State or Federal law.

Finding 66: The Natural Resources Study, the National Wetlands Inventory, the Springfield Wetland Inventory Map, Wellhead Protection Overlay and the list of Historic Landmark Sites have been consulted and there are no natural features on this site that warrant protection.

Finding 67: The applicant is not proposing to remove any qualifying trees from the property to facilitate site development. In accordance with SDC 5.19-110.A, a tree felling permit is required for removal of more than 5 trees greater than 5-inches in diameter in any 12-month period. Therefore, this requirement is not applicable.

Finding 68: Stormwater runoff from the subject site flows to the Willamette River system. This river is listed with the State of Oregon as a "water quality limited" stream for numerous chemical and physical constituents, including temperature. Provisions have been made in this decision for protection of stormwater quality. The proposed site development will not create an appreciable amount of new impervious surface requiring constructed stormwater management facilities for runoff quantity or quality control.

Finding 69: As previously noted and conditioned herein, groundwater protection must be observed during construction on the site. The applicant shall maintain the private stormwater facility on the site to ensure the continued protection of surface water and groundwater resources.

Conclusion: The proposed development provides storm and ground water quality protection in accordance with SDC 3.3-200 and receiving streams have been protected in accordance with SDC 4.3-110 and 4.3-115.

CONCLUSION: The Tentative Site Plan, as submitted and conditioned herein, complies with Criteria A-E of SDC 5.17-125. Staff recommends approval of the Tentative Site Plan subject to the recommended conditions contained herein and as summarized below.

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL:

- 1. The Final Site Plan shall provide for a utility easement satisfactory to SUB Electric for the underground electrical and telecommunication lines serving the development site.**
- 2. The Final Site Plan shall provide for installation of a SUB Electric supplied lock or issuance of a key to SUB Electric personnel for the fenced compound surrounding the utility enclosure. Access to the fenced compound shall be afforded SUB Electric personnel for the purpose of reading the electrical meter or pulling the meter in the event of an emergency.**
- 3. The Final Site Plan shall provide for any Eugene-Springfield Fire Department requirements as may be necessary to address the change from a natural gas powered to a diesel fuel powered backup generator. Any required changes to the fire protection measures for the site shall be depicted on the Final Site Plan and addressed in the applicant's response to the conditions of approval imposed by the Planning Commission with this decision.**
- 4. Prior to approval of the Final Site Plan, the applicant shall obtain Discretionary Use approval for a moderate visibility wireless telecommunications system facility as initiated by Case TYP315-00003.**
- 5. Prior to approval of the Final Site Plan, the applicant shall obtain approval for a Drinking Water Protection Permit initiated by Case TYP115-00017.**
- 6. The site construction plans shall include notes detailing drinking water protection practices to be used on the site, as detailed in Finding 60 of the Staff Report and Planning Commission Decision on the Site Plan Review application, Case TYP215-00012.**
- 7. The Final Site Plan shall provide for installation of a wellhead protection sign for the diesel fuel generator.**

WHAT NEEDS TO BE DONE BY THE APPLICANT TO OBTAIN FINAL SITE PLAN APPROVAL?

Upon approval of the Tentative Site Plan by the Springfield Planning Commission, the applicant shall submit five (5) copies of a Final Site Plan, the Final Site Plan application form and fees, and any additional required plans, documents or information as required by the Planning Commission decision to the Current Development Division within 90 days of the date of the Planning Commission decision (ie. **by August 31, 2015**). The Final Site Plan application form and fee information is available on the City's website here: <http://www.springfield-or.gov/DPW/Permits.htm#LandUsePermits>. In accordance with SDC 5.17-135 – 5.17-140, the Final Site Plan shall comply with the requirements of the SDC and the conditions imposed by the Planning Commission in this decision. The Final Site Plan otherwise shall be in substantial conformity with the tentative plan reviewed and approved. Portions of the proposal approved as submitted during tentative review cannot be substantively changed during final site plan approval. Approved Final Site Plans (including Landscape Plans) shall not be substantively changed during Building Permit Review without an approved Site Plan Decision Modification.

DEVELOPMENT AGREEMENT: In order to complete the review process, a Development Agreement is required to ensure that the terms and conditions of site plan review are binding upon both the applicant and the City. This agreement will be prepared by Staff upon approval of the Final Site Plan and must be signed by the property owner prior to the issuance of a building permit.

The applicant may submit permit applications to other City departments for review prior to final site plan approval in accordance with SDC 5.17-135 at their own risk. All concurrent submittals are subject to revision for compliance with the final site plan. A development agreement in accordance with SDC 5.17-140 will not be issued until all plans submitted by the applicant have been revised. **CONFLICTING PLANS CAUSE DELAYS.**

ADDITIONAL INFORMATION: The application, all documents, and evidence relied upon by the applicant, and the applicable criteria of approval are available for free inspection and copies are available for a fee at the Development & Public Works Department, 225 Fifth Street, Springfield, Oregon.

APPEAL: This Type II Tentative Site Plan decision is accompanied by, and is subordinate to, the Type III Discretionary Use Request initiated by Case TYP315-00003 and is therefore considered a Type III decision of the Planning Commission. As such, this decision may be appealed to the Springfield City Council. The appeal may be filed with the Development & Public Works Department by an affected party. Your appeal must be in accordance with **SDC 5.3-100, Appeals**. An Appeals application must be submitted with a fee of \$2,420.00. The fee will be returned to the applicant if the City Council approves the appeal application.

In accordance with SDC 5.3-115.B which provides for a 15-day appeal period and Oregon Rules of Civil Procedures, Rule 10(c) for service of notice by mail, the appeal period for this decision expires at **5:00 PM on June 17, 2015**.

QUESTIONS: Please call Andy Limbird in the Current Development Division of the Development & Public Works Department at (541) 726-3784 or email alimbird@springfield-or.gov if you have any questions regarding this process.

PREPARED BY

Andy Limbird

Andy Limbird
Senior Planner

City of Springfield
 Development Services Department
 225 Fifth Street
 Springfield, OR 97477



Discretionary Use

Required Project Information		(Applicant: complete this section)	
Applicant Name: Lauren Russell		Phone: 503-241-0279	
Company: Verizon Wireless c/o Smartlink LLC		Fax: 503-241-2204	
Address: 621 SW Alder St Ste 660 Portland, OR 97205			
Applicant's Rep.:		Phone:	
Company:		Fax:	
Address:			
Property Owner: c/o John Erving, Broker		Phone: 541-345-4860	
Company: Jasper Junction LLC		Fax:	
Address: 85831 Parklane Cir Pleasant Hill, OR 97455			
ASSESSOR'S MAP NO: 18020523		TAX LOT NO(S): 00100	
Property Address: 4164 Jasper Rd Springfield, OR 97478			
Size of Property: 5.2		Acres <input checked="" type="checkbox"/> Square Feet <input type="checkbox"/>	
Description of Proposal: If you are filling in this form by hand, please attach your proposal description to this application. See Part I of the attached narrative document			
Existing Use: Vacant building/land			
Signatures: Please sign and print your name and date in the appropriate box on the next page.			
Required Project Information		(City Intake Staff: complete this section)	
Associated Applications:		Signs: YES	
Case No.: TYP315-00003	Date: 5/1/15	Reviewed by: L. Miller	
Application Fee: \$ 3990	Technical Fee: \$ 199.50	Postage Fee: \$ 393	
TOTAL FEES: \$ 4582.50		PROJECT NUMBER: PRJ14-00036	

Date Received:

MAY 01 2015

Signatures

The undersigned acknowledges that the information in this application is correct and accurate.

Applicant: _____ **Date:** 5/1/15

Lauren Russell

Signature

Lauren Russell

Print

If the applicant is not the owner, the owner hereby grants permission for the applicant to act in his/her behalf.

Owner: _____ **Date:** _____

See attached Land Owner Authorization

Signature

Print

Date Received:

MAY 01 2015

Original Submittal SAM

Verizon Wireless

Permit Authorization

Date: **December 15, 2014**
Property Owner: **Jasper Junction LLC c/o John Erving, Broker**
Property/Site Address: **4164 Jasper Road, Springfield, OR**

RE: EUG Clearwater: 4164 Jasper Road, Springfield, OR

To Property Owner:

Please sign and return the letter of authorization to the Real Estate Consultant at Smartlink, 621 SW Alder Street, Suite 660, Portland, Oregon, as soon as possible to assure rapid processing of this site.

This letter shall not constitute an agreement to enter a binding easement or lease, and neither party shall be bound with respect to the leasing of the property until a final Agreement is negotiated and signed by both parties.

LETTER OF AUTHORIZATION

To Whom It May Concern:

The undersigned hereby authorized Verizon Wireless, its attorneys, agents or representatives, to make application for any necessary zoning petitions including the filing of building permit applications.

Very truly yours,

Property Owner

Date

12/15/2014

MANAGING
PARTNER
JASPER JUNCTION, LLC

Date Received:

MAY 01 2015

Original Submittal

SM

Attachment 3, Page 3 of 162

Discretionary Use Application Process

1. Applicant Submits a Discretionary Use Application to the Development Services Department

- The application must conform to the *Discretionary Use Submittal Requirements Checklist* on page 4 of this application packet.
- Planning Division staff screen the submittal at the front counter to determine whether all required items listed in the *Discretionary Use Submittal Requirements Checklist* have been submitted.
- Applications missing required items will not be accepted for submittal.

2. City Staff Conduct Detailed Completeness Check

- Planning Division staff conducts a detailed completeness check within 30 days of submittal.
- The assigned Planner notifies the applicant in writing regarding the completeness of the application.
- An application is not be deemed technically complete until all information necessary to evaluate the proposed development, its impacts, and its compliance with the provisions of the Springfield Development Code and other applicable codes and statutes have been provided.
- Incomplete applications, as well as insufficient or unclear data, will delay the application review process and may result in denial.

3. Planning Commission or Hearings Official Review the Application, Hold a Public Hearing, and Issue a Decision

- This is a Type III decision and thus is made after a public hearing.
- A notice is posted in the newspaper, and notice is mailed to property owners and occupants within 300 feet of the property being reviewed and to any applicable neighborhood association. In addition, the applicant must post one sign, provided by the City, on the subject property.
- Written comments may be submitted to the Development Services Department through the day of the public hearing or comments may be provided in person during the public hearing.
- Applications are distributed to the Development Review Committee.
- After a public hearing, the Planning Commission or Hearings Official issues a decision that addresses all applicable approval criteria and/or development standards, as well as any written or oral testimony.
- Applications may be approved, approved with conditions, or denied.
- The City mails the applicant and any party of standing a copy of the decision, which is effective on the day it is mailed.
- The decision issued is the final decision of the City but the Planning Commission's decision may be appealed within 15 calendar days to the City Council, and the Hearings Official's decision may be appealed within 21 calendar days to the Land Use Board of Appeals.

Date Received:

MAY 01 2015

Discretionary Use Submittal Requirements Checklist

NOTE: If you feel an item does not apply, please state the reason why and attach the explanation to this form.

- Submitted Concurrently** with Site Plan Review application, where applicable
- Application Fee** - refer to the *Development Code Fee Schedule* for the appropriate fee calculation formula. A copy of the fee schedule is available at the Development Services Department. The applicable application, technology, and postage fees are collected at the time of complete application submittal.
- Discretionary Use Application Form**
- Copy of the Deed**
- Copy of a Preliminary Title Report** issued within the past 30 days documenting ownership and listing all encumbrances.
- Copy of the Associated Site Plan Reduced to 8½" by 11"**, which will be mailed as part of the required neighboring property notification packet.
- Narrative** - explaining the proposal and any additional information that may have a bearing in determining the action to be taken, including findings demonstrating compliance with the Discretionary Use Criteria described in SDC 5.9-120.

NOTE: Before the Planning Commission or Hearings Official can approve a Discretionary Use request, information submitted by the applicant must adequately support the request. All of the Discretionary Use Criteria must be addressed by the applicant. Incomplete applications, as well as insufficient or unclear data, will delay the application review process and may result in denial.

Date Received:

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Prepared for Verizon Wireless

Discretionary Use and Site Plan Review Application for Verizon Wireless's EUG Clearwater Wireless Communication Facility

A Proposal Submitted to Springfield, OR

Prepared by
Smartlink, LLC
621 SW Alder St Ste 660
Portland, OR 97205
5/1/2015

Date Received:

MAY 01 2015

Table of Contents

I. PROPOSAL SUMMARY INFORMATION1

II. INTRODUCTION2

III. COMPLIANCE WITH SPRINGFIELD ORDINANCE NUMBER 4.3-145 WIRELESS TELECOMMUNICATIONS SYSTEM (WTS) FACILITIES3

 A. Purpose3

 B. Applicability/Conflicts3

 C. Pre-Existing WTS Facilities4

 D. Exemptions4

 E. Definitions5

 F. General Standards5

 G. Application Submittal Requirements14

 H. Review Process24

 I. Approval Criteria25

 J. Conditions of Approval25

 K. Maintenance26

 L. Inspections26

 M. Abandonment or Discontinuation of Use26

 N. Review of WTS Facilities Standards27

IV. COMPLIANCE WITH SPRINGFIELD ORDINANCE NUMBER 5.9-100 DISCRETIONARY USES28

 5.9-105. Purpose28

 5.9-110. Siting of Schools28

 5.9-115. Review28

 5.9-120. Criteria29

 5.9-125. Conditions31

V. COMPLIANCE WITH SPRINGFIELD ORDINANCE NUMBER 5.17-100 SITE PLAN REVIEW32

 5.17-105. Purpose and Applicability32

 5.17-110. Review33

 5.17-115. Phased Development33

 5.17-120. Submittal Requirements34

 5.17-125. Criteria39

Date Received:

Land Use Application

5.17-130. *Conditions*41
5.17-135. *Final Site Plan/Final Site Plan Equivalent Map*.....43
5.17-140. *Development Agreement*.....43
5.17-145. *Modifications*44
5.17-150. *Security and Assurances*44
5.17-155. *Maintaining the Use*45
VI. CONCLUSION46
VII. EXHIBITS47

Date Received:

MAY 01 2015

I. PROPOSAL SUMMARY INFORMATION

Verizon Wireless File No.: EUG Clearwater

Applicant: Verizon Wireless
c/o Smartlink, LLC
621 SW Alder St Ste 660
Portland, OR 97205

Preparer for Applicant: Lauren Russell
Verizon Wireless
c/o Smartlink, LLC
621 SW Alder St Ste 660
Portland, OR 97205

Property Owner: Jasper Junction LLC
c/o John Erving, Broker
85831 Parklane Cir
Pheasant Hills, OR 97455

Request: Discretionary Use and Site Plan Review approval to install a new 85'-0" monopine wireless communication facility with 12 antennas and associated equipment in a 12'-0" x 26'-0" new equipment shelter within a 40'-0" x 40'-0" wireless lease compound and a new 20'-0" wide access road to connect existing gravel access road on the property approximately 60'-0" to the lease compound.

Location: 4164 Jasper Rd
Springfield, OR 97478
Parcel: 18020523-100

Zoning: Community Commercial (CC)

Date Received:

MAY 01 2015

II. INTRODUCTION

Verizon Wireless is in the process of expanding its wireless communications network in Oregon and many other western states. Verizon Wireless's telecommunication devices represent the next generation of wireless devices, including LTE (Long Term Evolution) technology. LTE, also known as 4G, is designed for the most advanced technologies of wireless devices, such as smart phones with high speed data transfer, streaming videos and music, turn-by-turn navigation, GPS, email, web browsing, mobile apps, and video messaging, which are essential capabilities in the information age.

In order to improve these services, Verizon Wireless is expanding its wireless network. Verizon Wireless's network functions by splitting a region into smaller geographic areas called cells. Each cell is served by a transmitter and receiver or base station. As a caller moves across the landscape, the call is passed, or "handed-off," from one base station to another. Each base station is connected to a mobile telephone switching office, which is linked to the land based phone network serving your home or office.

Individual base station site locations, such as the proposed site, are selected based on a number of considerations related to topography, distance from other base stations, proximity to traffic corridors, and other technical features. Verizon Wireless's engineers utilize computer modeling and radio testing to determine potential sites. Because each base station consists of very low powered transmitters, which cover a relatively small geographic area, there is limited flexibility in site selection.

Verizon Wireless's proposed new wireless communication facility at 4164 Jasper Road is needed to close a significant gap in both service coverage and capacity. Currently Verizon Wireless has one site with a single sector pointed toward the area of concern and the data usage demands exceed the existing capacity. This existing site, EUG Springfield, will soon be decommissioned, which will create a coverage gap on top of the capacity gap. With the installation of the proposed wireless facility, Verizon Wireless is committed to providing quality wireless services to Springfield for years to come.

Date Received:

MAY 01 2015

III. COMPLIANCE WITH SPRINGFIELD ORDINANCE NUMBER 4.3-145 WIRELESS TELECOMMUNICATIONS SYSTEM (WTS) FACILITIES

A. Purpose

This section is intended to:

1. *Implement the requirements of the Federal Telecommunications Act of 1996;*
2. *Provide a uniform and comprehensive set of standards and review procedures for the placement, operation, alteration, and removal of WTS facilities;*
3. *Allow new WTS facilities where necessary to provide service coverage and there is a demonstrated need that cannot be met through existing facilities;*
4. *Maximize the use of existing facilities in order to minimize the need to construct additional facilities;*
5. *Encourage the siting of new WTS facilities in preferred locations;*
6. *Lessen impacts of new WTS facilities on surrounding residential areas; and*
7. *Minimize visual impacts of new WTS facilities through careful design, configuration, screening, and innovative camouflaging techniques.*

Response: The Applicant's proposed project comports with the purposes of this ordinance. The Applicant is requesting the approval of a new WTS facility because there is a demonstrated need that cannot be met through existing facilities. The proposed WTS facility would be designed to lessen its impact on surrounding areas.

B. Applicability/Conflicts

1. ***Applicability.*** *This Section applies within Springfield's city limits and its Urban Services Area. No WTS facility may be constructed, altered (to include co-locations,) or replaced, unless exempt, without complying with the requirements of this Section. Exempt facilities are listed in Subsection D below.*

Response: The proposed WTS facility is not listed as exempt under Subsection D. Therefore it must comply with the requirements of this Section.

2. ***Conflicts.*** *In cases where:*
 - a. *The development standards of this Section conflict with other Sections of this Code, these standards will prevail.*
 - b. *These development standards conflict with Federal and/or State regulation, the Federal and/or State regulations will prevail.*

Response: The Applicant will comply with this standard.

Date Received:

C. Pre-Existing WTS Facilities

- A. WTS facilities that lawfully existed prior to the adoption of this Ordinance codified in this Section shall be allowed to continue their use as they presently exist.**
- B. Routine maintenance will be permitted on lawful pre-existing WTS facilities as specified in Subsection D.1.**
- C. Lawfully existing WTS facilities may be replaced as specified in Subsection D.2..**

Response: Not applicable. The proposed WTS facility is a new monopine that did not exist prior to the adoption of this Ordinance codified in this Section.

D. Exemptions

The following shall be considered exempt structures or activities, however, all other applicable Federal, State, and City permits will be required:

- A. Emergency or routine repairs or routine maintenance of previously approved WTS facilities.**
- B. Replacement of existing previously approved WTS facilities.**
 - a. A WTS facility may be replaced if it:**
 - i. Is in the exact location of the facility being replaced;**
 - ii. Is of a construction type identical in height, size, lighting, and painting;**
 - iii. Can accommodate the co-location of additional antennas or arrays;**
 - iv. Does not increase radio frequency emission from any source; and**
 - v. Does not intrude or cause further intrusion into a setback area.**
 - b. Those WTS facilities that cannot meet the replacement standard in Subsection D.2.a. will be treated as new construction, requiring Type I or III review as specified in Subsection H.**
- C. Industrial, scientific, and medical equipment operating at frequencies designated for that purpose by the Federal Communications Commission.**
- D. Essential public telecommunications services: military, Federal, State, and local government telecommunications facilities.**
- E. Amateur and citizen band radio transmitters and antennas.**
- F. Military or civilian radar operating within the regulated frequency ranges for the purpose of defense or aircraft safety.**
- G. Antennas (including, but not limited to: direct-to-home satellite dishes; TV antennas; and wireless cable antennas) used by viewers to receive video programming signals from direct broadcast facilities, broadband radio service providers, and TV broadcast stations.**
- H. Low-powered networked telecommunications facilities including, but not limited to, microcell radio transceivers located on existing utility poles and light standards within public right-of-way.**

Date Received:

Land Use Application

1. ***Cell on Wheels (COW,) which are permitted as temporary uses in nonresidential Metro Plan or 2030 Springfield Refinement Plan designations for a period not to exceed 14 days, or during a period of emergency as declared by the City, County, or State.***

Response: The proposed WTS facility is not listed as an exempt structure.

E. Definitions

***The words and phrases used in this Section shall have the following meanings:
[The remainder of this subsection was intentionally excluded because it does not prompt an Applicant response.]***

Response: No response necessary.

F. General Standards

The Federal Telecommunications Act of 1996 establishes limitations on the siting standards that local governments can place on WTS facilities. Section 704 of the Act states that local siting standards shall not:

- 1) ***“unreasonably discriminate among providers of functionally equivalent services”***
- 2) ***“prohibit or have the effect of prohibiting the provision of personal wireless services.”***

All applications for WTS facilities are subject to the standards in this Section to the extent that they do not violate Federal limitations on local siting standards. Where application of the standards found in this Section constitutes a violation, the least intrusive alternative for providing coverage shall be allowed as an exception to the standards.

1. ***Design for Co-Location. All new towers shall be designed to structurally accommodate the maximum number of additional users technically practicable.***

Response: As illustrated in the “Proposed Tower Load Elevation” on Sheet A-2 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed WTS facility would be designed to structurally accommodate two additional users.

2. ***Demonstrated Need to New WTS Facilities. Applications shall demonstrate that the proposed WTS facility is necessary to close a significant gap in service coverage or capacity for the carrier and is the least intrusive means to close the significant gap.***

Response: As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification Letter,) the proposed WTS facility is needed to close a significant gap in

Date Received:

Land Use Application

both service coverage and capacity. Currently Verizon Wireless has one site with a single sector pointed toward the area of concern and the data usage demands exceed the existing capacity. This existing site, EUG Springfield, will soon be decommissioned, which will create a coverage gap on top of the capacity gap.

As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification Letter,) the search area assigned by the radio frequency engineer to the real estate consultant was determined by the current coverage provided by the to-be-decommissioned EUG Springfield site, the terrain, and the population density distribution. This need excluded all existing towers due to their distance from the coverage need and thus a new tower is necessary. The attached inventory of existing towers map (Exhibit C – Inventory of Existing Towers) shows all existing towers within five miles of the proposed WTS facility, none of which fall within the assigned search area.

The nearest existing tower at 4680 Main Street is 0.85 mile north of the proposed WTS facility, which is too far north from the assigned search area to adequately meet the coverage objective. The next nearest tower at 693 36th Street is 1.27 miles northwest of the proposed WTS facility is already a Verizon site – EUG Aster. The only other existing tower that is fewer than 2 miles from the proposed WTS facility is the tower at 3950 Kathryn Avenue, which is 1.64 miles northwest and very close to Verizon’s EUG Aster site. This tower would provide very similar coverage to the EUG Aster site and would also not adequately meet the coverage objective.

There are no existing buildings within the search area that could be used for co-location opportunities. The majority of the search area is zoned Low Density Residential and there are also 2 properties zoned Community Commercial and 3 properties zoned Neighborhood Commercial. Existing buildings on the non-residential properties are one- and two-story buildings, which is too short to meet the engineer’s minimum antenna centerline height of 75 feet.

3. Lack of Coverage and Lack of Capacity. The application shall demonstrate that the gap in service cannot be closed by upgrading other existing facilities. In doing so, evidence shall clearly support a conclusion that the gap results from a lack of coverage and not a lack of capacity to achieve adequate service. If the proposed WTS facility is to improve capacity, evidence shall further justify why other methods for improving service capacity are not reasonable, available, or effective.

Response: As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification Letter,) the decommissioning of the EUG Springfield site will create a gap from a lack of coverage in an area that is already experiencing a gap from a lack of capacity.

Date Received:

Land Use Application

4. ***Identify the Least Intrusive Alternative for Providing Coverage. The application shall demonstrate a good faith effort to identify and evaluate less intrusive alternatives, including, but not limited to, less sensitive sites, alternative design systems, alternative tower designs, the use of repeaters, or multiple facilities. Subsection F.5. defines the type of WTS facilities that are allowed in each zoning district.***

Response: As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification Letter,) the search area assigned by the radio frequency engineer to the real estate consultant was determined by the current coverage provided by the to-be-decommissioned EUG Springfield site, the terrain, and the population density distribution. This need excluded all existing towers due to their distance from the coverage need and thus a new tower is necessary. The attached inventory of existing towers map (Exhibit C – Inventory of Existing Towers) shows all existing towers within five miles of the proposed WTS facility, none of which fall within the assigned search area.

The nearest existing tower at 4680 Main Street is 0.85 mile north of the proposed WTS facility, which is too far north from the assigned search area to adequately meet the coverage objective. The next nearest tower at 693 36th Street is 1.27 miles northwest of the proposed WTS facility is already a Verizon site – EUG Aster. The only other existing tower that is fewer than 2 miles from the proposed WTS facility is the tower at 3950 Kathryn Avenue, which is 1.64 miles northwest and very close to Verizon’s EUG Aster site. This tower would provide very similar coverage to the EUG Aster site and would also not adequately meet the coverage objective.

There are no existing buildings within the search area that could be used for co-location opportunities. The majority of the search area is zoned Low Density Residential and there are also 2 properties zoned Community Commercial and 3 properties zoned Neighborhood Commercial. Existing buildings on the non-residential properties are one- and two-story buildings, which is t

Because the to-be-decommissioned site’s antennas had a centerline of 160 feet, the replacement site would either need to match that height or be as tall as permissible. Instead of proposing a new 160-foot tall tower, Verizon proposes to make use of multiple less intrusive facilities. The replacement plan includes the proposed WTS facility and EUG Aster, a co-location on the existing tower located at 693 36th Street (permit #811-SPR2014-02174.) By using multiple facilities, the proposed WTS facility antennas would have a centerline of 90 feet, which would provide an acceptable replacement signal strength, allowing the current customers to maintain service.

5. ***Location of WTS Facilities by Type. Subsection E. defines the various types of WTS facilities by their visual impact. These are: high visibility, moderate visibility, low***

Date Received:

visibility, and stealth facilities. Table 4.3-1 lists the type of WTS facilities allowed in each of Springfield's zoning districts.

Response: The proposed WTS facility would be a monopine, which is a moderate visibility facility. Moderate visibility facilities are allowed in the subject property's Community Commercial zoning district.

6. Maximum Number of High Visibility WTS Facilities. No more than 1 high visibility facility is allowed on any 1 lot/parcel.

[The remainder of this subsection was intentionally excluded because it discusses high visibility facilities and thus does not apply to this project.]

Response: Not applicable. The proposed WTS facility would be a moderate visibility facility. There are no existing WTS facilities on the subject property.

7. Separation between Towers. No new WTS tower may be installed closer than 2,000 feet from any existing tower unless supporting findings can be made under Subsections F.2., 3., and 4. By the Approval Authority.

Response: As illustrated in the attached inventory of existing towers map (Exhibit C – Inventory of Existing Towers,) the nearest existing tower is 0.85 mile, or 4,488 feet, away from the proposed WTS facility.

8. WTS Facilities Adjacent to Residentially Zoned Property. In order to ensure public safety, all towers located on or adjacent to any residential zoning district shall be set back from all residential property lines by a distance at least equal to the height of the facility, including any antennas or other appurtenances. The setback shall be measured from the part of the WTS tower that is closest to the neighboring residentially zoned property.

Response: As illustrated in the "Proposed Site Plan" on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed WTS facility would be set back more than 267 feet from the residential property to the west and more than 322 feet from the residential property to the east, which is greater than the 90-foot antenna tip height.

9. Historic Buildings and Structures. No WTS facility shall be allowed on any building or structure, or in any district, that is listed on any Federal, State, or local historic register unless a finding is made by the Approval Authority that the proposed facility will have no adverse effect on the appearance of the building, structure, or district. No change in architecture and no high or moderate visibility WTS facilities are permitted on any building or any site within a historic district. Proposed WTS facilities in the Historic Overlay District are also subject to the applicable provisions of Section 3.3-900.

Date Received:

Land Use Application

Response: Not applicable. The proposed WTS facility would not be located on a historic building or structure.

10. Equipment Location. The following location standards shall apply to WTS facilities:

a. No WTS facility shall be located in a front, rear, or side yard building setback in any base zone and no portion of any antenna array shall extend beyond the property lines;

Response: As illustrated in the “Proposed Site Plan” on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed WTS facility would be located more than 53 feet from the nearest property line, which is greater than the required 10-foot interior setback.

b. Where there is no building, the WTS facility shall be located at least 30 feet from a property line abutting a street;

Response: As illustrated in the “Proposed Site Plan” on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed WTS facility would be located 111 feet from the nearest property line abutting a street.

c. For guyed WTS towers, all guy anchors shall be located at least 50 feet from all property lines.

Response: Not applicable. The proposed WTS facility would not include any guy wires.

11. Tower Height. Towers may exceed the height limits otherwise provided for in this Code. However, all towers greater than the height limit of the base zone shall require Discretionary Use approval through a Type III review process, subject to the approval criteria specified in Subsection I.

Response: There is no maximum building height in the Community Commercial zoning district except within fifty feet of a Low Density Residential or Medium Density Residential zoning district to the east, west, or south, where the maximum height is no greater than that permitted within the residential zoning district. Because the proposed WTS facility is located more than 50 feet from the adjacent properties zoned Low Density Residential and Medium Density Residential to the east and west, respectively, there is no height limit.

12. Accessory Building Size. All accessory buildings and structures built to contain equipment accessory to a WTS facility shall not exceed 12 feet in height unless a greater height is necessary and required by a condition of approval to maximize architectural integration. Each accessory building or structure located on any residential or public land and open space zoned property is limited to 200 square feet, unless approved through the Discretionary Use process.

Date Received:

Land Use Application

Response: As illustrated in the “Shelter Details” on Sheet A-6 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed WTS facility’s accessory equipment shelter would be 10’-6” in height. Because the subject property is zoned Community Commercial, the accessory equipment structure is not limited in square footage.

13. Visual Impact. All new WTS facilities shall be designed to minimize the visual impact to the greatest extent practicable by means of placement, screening, landscaping, and camouflage. All facilities shall also be designed to be compatible with existing architectural elements, building materials, and other site characteristics. The applicant shall use the least visible antennas reasonably available to accomplish the coverage objectives. All high visibility and moderate visibility facilities shall be sited in a manner to cause the least detriment to the viewshed of abutting properties, neighboring properties, and distant properties.

Response: The proposed WTS facility would be designed to minimize the visual impact to the greatest extent practicable by means of placement, screening, landscaping, and camouflage.

Placement: As illustrated in the “Proposed Site Plan” on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed WTS facility would be located on a large parcel more than 240 feet from S 42nd Avenue, more than 110 feet from the Horace Street right-of-way, more than 267 feet from the school property to the west, and more than 50 feet from the commercial property to the north. As illustrated in attached photo simulation looking west (Exhibit D – Visual Impact Study,) the proposed WTS facility would be located near existing trees of various sizes, which would help the facility blend in with the context of the site.

Screening and landscaping: The proposed WTS facility would be surrounded by a 6-foot tall chain link fence with barbed wire and a 5-foot wide landscape buffer. As illustrated on Sheet A-1.1 of the attached drawings (Exhibit A – Site Plan and Elevations,) the landscaping surrounding the proposed WTS facility would comply with the landscaping, screening, and fence standards. The proposed screening and landscaping would minimize the visual impact of the equipment area and tower base.

Camouflage: The proposed WTS facility would be a monopine. As illustrated in the “Proposed East Elevation” on Sheet A-2 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed tower would be designed to look as much like a tree as possible, with branches, low-profile antennas colored green to blend with the branches, and a pole colored to match the trunks of the surrounding trees. The attached photo simulations (Exhibit D – Visual Impact Study) also illustrate the proposed monopine design. Compared to an unstealthed monopole, the proposed facility would better blend with the context of the site and thus minimizes the visual impact.

Date Received:

Land Use Application

14. Minimize Visibility. Colors and materials for WTS facilities shall be nonreflective and chosen to minimize visibility. Facilities, including support equipment and buildings, shall be painted or textured using colors to match or blend with the primary background, unless required by any other applicable law.

Response: As illustrated in the “Proposed East Elevation” on Sheet A-2 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed tower would be designed to look as much like a tree as possible, with branches, low-profile antennas colored green to blend with the branches, and a pole colored to match the trunks of the surrounding trees. As illustrated in the “Shelter Details” on Sheet A-6 of the attached drawings (Exhibit A – Site Plan and Elevations,) the shelter would have an exposed brown aggregate finish. Additionally, the proposed fence and landscaping would further minimize the visibility of the facility.

15. Camouflaged Facilities. All camouflaged WTS facilities shall be designed to visually and operationally blend into the surrounding area in a manner consistent with existing development on adjacent properties. The facility shall also be appropriate for the specific site. In other words, it shall no “stand out” from its surrounding environment.

Response: The proposed WTS facility would be a monopine. As illustrated in the “Proposed East Elevation” on Sheet A-2 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed tower would be designed to look as much like a tree as possible, with branches, low-profile antennas colored green to blend with the branches, and a pole colored to match the trunks of the surrounding trees. As illustrated in attached photo simulation looking west (Exhibit D – Visual Impact Study,) the proposed WTS facility would be located near existing trees of various sizes, which would help the facility blend in with the context of the site.

16. Façade-Mounted Antenna. Façade-mounted antennas shall be architecturally integrated into the building design and otherwise made as unobtrusive as possible. If possible, antennas shall be located entirely within an existing or newly created architectural feature so as to be completely screened from view. Façade-mounted antennas shall not extend more than 2 feet out from the building face.

Response: Not applicable. The proposed WTS facility would not be mounted to an existing structure.

17. Roof-Mounted Antenna. Roof-mounted antennas shall be constructed at the minimum height possible to serve the operator’s service area and shall be set back as far from the building edge as possible or otherwise screened to minimize visibility from the public right-of-way and adjacent properties.

Date Received:

MAY 01 2015

Land Use Application

Response: Not applicable. The proposed WTS facility would not be mounted to an existing structure.

18. Compliance with Photo Simulations. As a condition of approval and prior to final staff inspection of the WTS facility, the applicant shall submit evidence, e.g., photos, sufficient to prove that the facility is in substantial conformance with photo simulations provided with the initial application. Nonconformance shall require any necessary modification to achieve compliance within 90 days of notifying the applicant.

Response: The Applicant will comply with this standard.

19. Noise. Noise from any equipment supporting the WTS facility shall comply with the regulations specified in OAR 340-035-0035.

Response: As described in the attached noise report (Exhibit E – Noise Report,) the equipment supporting the proposed WTS facility would comply with the regulations specified in OAR 340-035-0035.

20. Signage. No signs, striping, graphics, or other attention-getting devices are permitted on any WTS facility except for warning and safety signage that shall:

- a. Have a surface area of no more than 3 square feet;**
- b. Be affixed to a fence or equipment cabinet; and**
- c. Be limited to no more than 2 signs, unless more are required by any other applicable law.**

Response: As illustrated on Sheet A-8 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed WTS facility would contain only the required warning and safety signage.

21. Traffic Obstruction. Maintenance vehicles servicing WTS facilities located in the public or private right-of-way shall not park on the traveled way or in a manner that obstructs traffic.

Response: Not applicable. The proposed WTS facility would not be located in the public or private right-of-way.

22. Parking. No net loss in required on-site parking spaces shall occur as the result of the installation of any WTS facility.

Response: Because there are currently no required on-site parking spaces on the subject property, there would be no net loss in required on-site parking spaces as a result of the installation of the proposed WTS facility.

Date Received:

MAY 01 2015

Land Use Application

23. Sidewalks and Pathways. Cabinets and other equipment shall not impair pedestrian use of sidewalks or other pedestrian paths or bikeways on public or private land.

Response: As illustrated in the “Proposed Compound Plan” on Sheet A-1 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed WTS facility’s equipment would all be located within the fenced lease area and would not impair the use of sidewalks, pedestrian paths, or bikeways.

24. Lighting. WTS facilities shall not include any beacon lights or strobe lights, unless required by the Federal Aviation Administration (FAA) or other applicable authority. If beacon lights or strobe lights are required, the Approval Authority shall review any available alternatives and approve the design with the least visual impact. All other site lighting for security and maintenance purpose shall be shielded and directed downward, and shall comply with the outdoor lighting standards in Section 4.5-100, unless required by any other applicable law.

Response: As described in the attached letter from the Oregon Department of Aviation (Exhibit F – FAA/ODA Determinations,) no marking or lighting are necessary for aviation safety. As illustrated in the “Shelter Details” on Sheet A-6 of the attached drawings (Exhibit A – Site Plan and Elevations,) the light fixture on the proposed WTS facility’s equipment shelter would have a sharp cutoff in order to comply with the outdoor lighting standards.

25. Landscaping. For WTS facilities with towers that exceed the height limitations of the base zone, at least 1 row of evergreen trees or shrubs, not less than 4 feet high at the time of planting and spaced out no more than 15 feet apart, shall be provided in the landscape setback. Shrubs shall be of a variety that can be expected to grow to form a continuous hedge at least 5 feet in height within 2 years of planting. Trees and shrubs in the vicinity of guy wires shall be of a kind that would not exceed 20 feet in height or would not affect the stability of the guys. In all other cases, the landscaping, screening, and fence standards specified in Section 4.4-100 shall apply.

Response: As illustrated on Sheet A-1.1 of the attached drawings (Exhibit A – Site Plan and Elevations,) the landscaping surrounding the proposed WTS facility would comply with the landscaping, screening, and fence standards.

26. Prohibited WTS Facilities.

- a. Any high or moderate visibility WTS facility in the Historic Overlay District.**
- b. Any WTS facility in the public right-of-way that severely limits access to abutting property, which limits public access or use of the sidewalk, or which constitutes a vision clearance violation.**

Date Received:

c. Any detached WTS facility taller than 150 feet above finished grade at the base of the tower.

Response: The proposed WTS facility is not within the Historic Overlay District or the public right-of-way and would not be taller than 150 feet. Therefore it is not a prohibited facility.

27. Speculation. No application shall be accepted or approved for a speculation WTS tower, i.e., from an applicant that simply constructs towers and leases tower space to service carriers, but is not a service carrier, unless the applicant submits binding written commitment or executed lease from a service carrier to utilize or lease space on the tower.

Response: The Applicant represents Verizon Wireless and is not proposing a speculation WTS facility.

G. Application Submittal Requirements

All applications for a WTS facility shall provide the following reports, documents, or documentation:

1. Submittal Requirements for Low Visibility and Stealth Facilities (Type I Review). All applications for low visibility and stealth WTS facilities shall submit the following reports and documentation:

Response: Although the proposed WTS facility is a moderate visibility facility, per Subsection G(2) below, this application must include all of the required materials for low visibility and stealth WTS facilities.

a. Narrative. The application shall include a written narrative that describes in detail all of the equipment and components proposed to be part of the WTS facility, including, but not limited to, towers, antennas and arrays, equipment cabinets, back-up generators, air conditioning units, lighting, landscaping, and fencing.

Response: The equipment and components proposed to be part of the proposed WTS facility include:

- 85-foot monopine stealth pole
- 12 panel antennas
- 12 RRUs
- 3 splitters/surge suppressors
- 12 coax cables
- 2 hybrid cables
- 1 utility H-frame
- 1 ice bridge

Date Received:

Land Use Application

- 1 GPS antenna
 - 12'-0" x 26'-0" concrete equipment slab
 - 12'-0" x 26'-0" pre-fabricated equipment shelter with 8 cabinets, 1 30kVa natural gas generator, and 2 air conditioning units
 - 1 150 watt light fixture with sharp cutoff on shelter exterior
 - 1 LED light fixture tilted down attached to H-Frame
 - 6-foot tall chain link fence with barbed wire surrounding the 40'-0" x 40'-0" lease area with a 12-foot wide chain link gate
 - 5-foot wide landscaping buffer surrounding the lease compound including Gold Leyland Cypress trees and Blue Blossom and Oregon Grape shrubs
- b. ***Geographic Service Area. The applicant shall identify the geographic service area for the proposed WTS facility, including a map showing all of the applicant's and any other existing sites in the local service network associated with the gap the facility is meant to close. The applicant shall describe how this service area fits into and is necessary for the service provider's service network. The service area map for the proposed WTS facility shall include the following:***
- i. *The area of significant gap in the existing coverage area;*
 - ii. *The service area to be effected by the proposed WTS facility;*
 - iii. *The locations of existing WTS tower facilities where co-location is possible within a 5-mile radius of the proposed WTS facility.*

Response: The attached letter from the Radio Frequency Engineer (Exhibit B – RF Justification Letter) explains the area of significant gap in the existing coverage area and the service area to be effected by the proposed WTS facility. The attached inventory of existing towers map (Exhibit C – Inventory of Existing Towers) includes all existing WTS tower facilities where co-location is possible within a 5-mile radius of the proposed WTS facility.

- c. ***Co-Location. An engineer's analysis/report of the recommended site location area is required for the proposed WTS facility. If an existing structure approved for co-location in within the area recommended by the engineer's report, reasons for not collocating shall be providing demonstrating at least one of the following deficiencies:***
- i. *The structure is not of sufficient height to meet engineering requirements;*
 - ii. *The structure is not of sufficient structural strength to accommodate the WTS facility, or there is a lack of space on all suitable existing towers to locate proposed antennas;*
 - iii. *Electromagnetic interference for one or both WTS facilities will result from co-location.*

Date Received:

iv. The radio frequency coverage objective cannot be adequately met.

Response: As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification Letter,) the search area assigned by the radio frequency engineer to the real estate consultant was determined by the current coverage provided by the to-be-decommissioned EUG Springfield site, the terrain, and the population density distribution. This need excluded all existing towers due to their distance from the coverage need and thus a new tower is necessary. The attached inventory of existing towers map (Exhibit C – Inventory of Existing Towers) shows all existing towers within five miles of the proposed WTS facility, none of which fall within the assigned search area.

The nearest existing tower at 4680 Main Street is 0.85 mile north of the proposed WTS facility, which is too far north from the assigned search area to adequately meet the coverage objective. The next nearest tower at 693 36th Street is 1.27 miles northwest of the proposed WTS facility is already a Verizon site – EUG Aster. The only other existing tower that is fewer than 2 miles from the proposed WTS facility is the tower at 3950 Kathryn Avenue, which is 1.64 miles northwest and very close to Verizon’s EUG Aster site. This tower would provide very similar coverage to the EUG Aster site and would also not adequately meet the coverage objective.

There are no existing buildings within the search area that could be used for co-location opportunities. The majority of the search area is zoned Low Density Residential and there are also 2 properties zoned Community Commercial and 3 properties zoned Neighborhood Commercial. Existing buildings on the non-residential properties are one- and two-story buildings, which is too short to meet the engineer’s minimum antenna centerline height of 75 feet.

d. Plot Plan. A plot plan showing: the lease area, antenna structure, height above grade and setback from property lines, equipment shelters and setback from property lines, access, the connection point with the land line system, and all landscape areas intended to screen the WTS facility.

Response: The plot plan is illustrated in the “Proposed Site Plan” on Sheet A-0 and the “Proposed Compound Plan” on Sheet A-1 of the attached drawings (Exhibit A – Site Plan and Elevations.)

e. RF Emissions. An engineer’s statement that the RF emissions at grade, or at the nearest habitable space when attached to an existing structure, complies with FCC rules for these emissions; the cumulative RF emissions if co-located. Provide the RF range in megahertz and the wattage output of the equipment.

Date Received:

Land Use Application

Response: The attached Non-Ionizing Electromagnetic Exposure Analysis (Exhibit G – NIER Report) verifies the proposed facility’s compliance with FCC rules for emissions.

f. Description of Service. A description of the type of service offered, including, but not limited to: voice, data, video, and the consumer receiving equipment.

Response: The proposed antennas include 700 MHz, 800 MHz, AWS (advanced wireless service,) and PCS (personal communication service,) which would provide voice and data service needed to support smart phones and tablets with high speed data transfer, streaming videos and music, turn-by-turn navigation, GPS, email, web browsing, mobile apps, and video messaging.

g. Provider Information. Identification of the provider and backhaul provider, if different.

Response: The provider is Verizon Wireless (VAW) LLC, whose contact information is:

One Verizon Way
Mail Stop 4AW100
Basking Ridge, NJ 07920

h. Zoning and Comprehensive Plan Designation. Provide the zoning and applicable comprehensive plan (e.g., Metro Plan, 2030 Springfield Refinement Plan) designation of the proposed site and the surrounding properties within 500 feet.

Response: The subject property is zoned Community Commercial and is designated as commercial by the comprehensive plan. The zoning designations of the surrounding properties can be found in the “Proposed Site Plan” on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations.)

i. FCC, FAA, or Other Required Licenses and Determinations. Provide a copy of all pertinent submittals to the FCC, FAA, or other State or Federal agencies including environmental assessments and impact statements and the data, assumptions, calculations, and measurements relating to RF emissions safety standards.

Response: Verizon Wireless’s FCC licenses for the Springfield market are attached as Exhibit H – FCC Licenses. Determinations by the Oregon Department of Aviation and the Federal Aviation Administration are attached as Exhibit F - FAA and ODA Determinations.

2. Submittal Requirements for Moderate and High Visibility Facilities (Type III Review.) Applications for moderate and high visibility WTS facilities shall require

Date Received:

Land Use Application

There are no existing buildings within the search area that could be used for co-location opportunities. The majority of the search area is zoned Low Density Residential and there are also 2 properties zoned Community Commercial and 3 properties zoned Neighborhood Commercial. Existing buildings on the non-residential properties are one- and two-story buildings, which is too short to meet the engineer's minimum antenna centerline height of 75 feet.

Because the to-be-decommissioned site's antennas had a centerline of 160 feet, the replacement site would either need to match that height or be as tall as permissible. Instead of proposing a new 160-foot tall tower, Verizon proposes to make use of multiple less intrusive facilities. The replacement plan includes the proposed WTS facility and EUG Aster, a co-location on the existing tower located at 693 36th Street (permit #811-SPR2014-02174.) By using multiple facilities, the proposed WTS facility antennas would have a centerline of 90 feet, which would provide an acceptable replacement signal strength, allowing the current customers to maintain service.

b. Construction. Describe the anticipated construction techniques and timeframe for construction or installation of the WTS facility to include all temporary staging and the type of vehicles and equipment to be used.

Response: Total construction for this project is estimated at one month and is anticipated to exclude any night construction activities. Construction personnel would fluctuate between 4 to 8 members depending on the activity. Utilities for the site would be coordinated with local utilities and would be extended to the construction site via a 36-inch deep underground trench. Trenching would be completed with a standard walk behind unit. A Caterpillar 325 Series or equivalent excavator would be required for 2 to 3 days to complete ground preparation for the tower and shelter foundation. Concrete for the foundation would be delivered in a single day and would require only standard concrete delivery trucks for installation. The tower and equipment shelter are pre-fabricated and would be delivered by truck. A 100-foot crane would be utilized on site for 2 to 3 days to complete the shelter placement and tower erection. Construction personnel would require approximately 2 weeks to complete the installation of coaxial cable, antennas, equipment, and electronics. Full-size pickup trucks would facilitate construction during this phase. All construction would be completed with respect to the surrounding environment and with a focus on minimizing impact to the surrounding community.

c. Maintenance. Describe the anticipated maintenance and monitoring program for the antennas, back-up equipment, and landscaping.

Response: It is anticipated that there would be one maintenance visit per month.

Date Received:

Land Use Application

- d. ***Noise/Acoustical Information.*** Provide the manufacturer's specifications for all noise-generating equipment including, but not limited to, air conditioning units and back-up generators, and a depiction of the equipment location in relation to abutting properties.

Response: As described in the attached noise report (Exhibit E – Noise Report,) the equipment supporting the proposed WTS facility would comply with the regulations specified in OAR 340-035-0035.

- e. ***Landscaping and Screening.*** Discuss how the proposed landscaping and screening materials will screen the site at maturity.

Response: As illustrated on Sheet A-1.1 of the attached drawings (Exhibit A – Site Plan and Elevations,) the landscaping surrounding the proposed WTS facility would comply with the landscaping, screening, and fence standards.

- f. ***Co-Location.*** In addition to the co-location requirements specified in Subsection G.1.c., the applicant shall submit a statement from an Oregon registered engineer certifying that the proposed WTS facility and tower, as designed and built, will accommodate co-locations and that the facility complies with non-ionizing electromagnetic radiation emission standards as specified by the FCC. The applicant shall also submit:

- i. A letter stating the applicant's willingness to allow other carriers to co-locate on the proposed facilities wherever technically and economically feasible and aesthetically desirable;
- ii. A copy of the original Site Plan for the approved WTS facility updated to reflect current and proposed conditions on the site; and
- iii. A depiction of the existing WTS facility showing the proposed placement of the co-located antenna and associated equipment. The depiction shall note the height, color, and physical arrangement of the antenna and equipment.

Response: The proposed WTS facility would be designed to accommodate two additional carriers, which will be confirmed by a structural analysis to be supplied as part of the building permit application. The attached Non-Ionizing Electromagnetic Exposure Analysis (Exhibit G – NIER Report) verifies the proposed facility's compliance with FCC rules for emissions.

A letter stating Verizon Wireless's willingness to allow other carriers to co-locate on the proposed WTS facility wherever technically and economically feasible and aesthetically desirable is attached as Exhibit I – Co-location Agreement.

Date Received:

MAY 01 2015

Land Use Application

The Applicant will submit a copy of the original site plan for the approved WTS facility updated to reflect current and proposed conditions on the site upon approval of the site plan review.

The number and types of antennas that could be accommodated on the proposed WTS facility is illustrated in the “Proposed Tower Load Elevation” on Sheet A-2 of the attached drawings (Exhibit A – Site Plan and Elevations.)

- g. Lease. If the site is to be leased, a copy of the proposed or existing lease agreement authorizing development and operation of the proposed WTS facility.***

Response: An excerpt of the draft lease is attached as Exhibit J – Lease Excerpt.

- h. Legal Access. The applicant shall provide copies of existing or proposed easements, access permits, and/or grants of right-of-way necessary to provide lawful access to and from the site to a City street or State highway.***

Response: The attached lease (Exhibit J – Lease Excerpt) includes information on a proposed easement and the attached title report (Exhibit K – Title Report) includes information on existing easements.

- i. Lighting and Marking. Any proposed lighting and marking of the WTS facility, including any required by the FAA.***

Response: As described in the attached letter from the Oregon Department of Aviation (Exhibit F – FAA/ODA Determination,) no marking or lighting is necessary for aviation safety. As illustrated in the “Shelter Details” on Sheet A-6 of the attached drawings (Exhibit A – Site Plan and Elevations,) the light fixture on the proposed WTS facility’s equipment shelter would have a sharp cutoff and the light fixture on the proposed H-Frame would tilt down in order to comply with the outdoor lighting standards.

- j. Utilities. Utility and service lines for proposed WTS facilities shall be placed underground.***

Response: As illustrated in the “Proposed Site Plan” on Sheet A-0 and the “Proposed Compound Plan” on Sheet A-1 of the attached drawings (Exhibit A – Site Plan and Elevations,) the utility and service lines for the proposed WTS facility would be placed underground.

- k. Alternative Site Analysis. The applicant shall include an analysis of alternative sites and technological design options for the WTS facility within and outside of the City that are capable of meeting the same service objectives as the proposed site with an equivalent or lesser visual***

Date Received:

Land Use Application

or aesthetic impact. If a new tower is proposed, the applicant shall demonstrate the need for a new tower and why alternative locations and design alternatives, or alternative technologies including, but not limited to microcells and signal repeaters, cannot be used to meet the identified service objectives.

Response: As described in the attached letter from the radio frequency engineer (Exhibit B – RF Justification Letter,) the search area assigned by the radio frequency engineer to the real estate consultant was determined by the current coverage provided by the to-be-decommissioned EUG Springfield site, the terrain, and the population density distribution. This need excluded all existing towers due to their distance from the coverage need and thus a new tower is necessary. The attached inventory of existing towers map (Exhibit C – Inventory of Existing Towers) shows all existing towers within five miles of the proposed WTS facility, none of which fall within the assigned search area.

The nearest existing tower at 4680 Main Street is 0.85 mile north of the proposed WTS facility, which is too far north from the assigned search area to adequately meet the coverage objective. The next nearest tower at 693 36th Street is 1.27 miles northwest of the proposed WTS facility is already a Verizon site – EUG Aster. The only other existing tower that is fewer than 2 miles from the proposed WTS facility is the tower at 3950 Kathryn Avenue, which is 1.64 miles northwest and very close to Verizon’s EUG Aster site. This tower would provide very similar coverage to the EUG Aster site and would also not adequately meet the coverage objective.

There are no existing buildings within the search area that could be used for co-location opportunities. The majority of the search area is zoned Low Density Residential and there are also 2 properties zoned Community Commercial and 3 properties zoned Neighborhood Commercial. Existing buildings on the non-residential properties are one- and two-story buildings, which is too short to meet the engineer’s minimum antenna centerline height of 75 feet.

Because the to-be-decommissioned site’s antennas had a centerline of 160 feet, the replacement site would either need to match that height or be as tall as permissible. Instead of proposing a new 160-foot tall tower, Verizon proposes to make use of multiple less intrusive facilities. The replacement plan includes the proposed WTS facility and EUG Aster, a co-location on the existing tower located at 693 36th Street (permit #811-SPR2014-02174.) By using multiple facilities, the proposed WTS facility antennas would have a centerline of 90 feet, which would provide an acceptable replacement signal strength, allowing the current customers to maintain service.

- I. ***Visual Impact Study and Photo Simulations. The applicant shall provide a visual impact analysis showing the maximum silhouette, viewshed***

Date Received:

Land Use Application

analysis, color and finish palette, and screening for all components of the proposed WTS facility. The analysis shall include photo simulations and other information necessary to determine visual impact of the facility as seen from multiple directions. The applicant shall include a map showing where the photos were taken.

Response: The maximum silhouette of the proposed WTS facility is illustrated in the attached shadow analysis drawing (Exhibit D – Visual Impact Study.) The attached photo simulations (Exhibit D – Visual Impact Study) show three views of the proposed WTS facility and include a map showing where the photos were taken.

3. Independent Consultation Report.

a. Review and approval of WTS facilities depends on highly specialized scientific and engineering expertise not ordinarily available to Springfield staff or to residents who may be adversely impacted by the proposed development of these facilities. Therefore, in order to allow the Approval Authority to make an informed decision on a proposed WTS facility, the Director may require the applicant to fund an independent consultation report for all new moderate and high visibility facilities. The consultation shall be performed by a qualified professional with expertise pertinent to the scope of the service requested.

Response: The Applicant will comply with this standard.

b. The scope of the independent consultation shall focus on the applicant's alternatives analysis. The consultant will evaluate conclusions of the applicant's analysis to determine if there are alternative locations or technologies that were not considered or which could be employed to reduce the service gap but with less visual or aesthetic impact. There may be circumstances where this scope may vary but the overall objective shall be to verify that the applicant's proposal is safe and is the least impactful alternative for closing the service gap.

Response: The Applicant will comply with this standard.

c. The applicant shall be informed of the Director's decision about the need for an independent consultation at the time of the Pre-Submittal Meeting that is required under Section 5.1-120(C.) It is anticipated that the independent consultation will be required when the applicant proposes to locate a moderate or high visibility WTS facility in a residential zoning district or within 500 feet of a residential zoning district. Other instances where a proposed WTS facility may have a visual or aesthetic impact on

Date Received:

sensitive neighborhoods could also prompt the Director to require an independent consultation.

Response: The Applicant will comply with this standard.

H. Review Process

The review process is determined by the type of WTS facility or activity that is proposed. High or moderate visibility WTS facilities, defined in Subsection E, require Type III Planning Commission or Hearing Official review. Low visibility or stealth facilities and the co-location of new equipment on existing facilities are allowed under a Type I staff review with applicable building or electrical permits. Routine equipment repair and maintenance do not require planning review; however, applicable building and electrical permits are required.

1. Development Issues Meeting. *A Development Issues Meeting (DIM) as specified in Subsection 5.1-120(A) is required only for high and moderate visibility WTS facility applicants. Applicable development standards as specified in Subsection F and submittal requirements as specified in Subsection G will be discussed at the DIM.*

Response: A Development Issues Meeting was held on January 15, 2015. A letter confirming this meeting is attached as Exhibit L – Development Issues Meeting Letter.

2. Type I Review Process. *The following WTS facilities are allowed with the approval of the Director with applicable building and electrical permits:
[The remainder of this subsection was intentionally excluded because it is about WTS facilities subject to the Type I review process and thus does not apply to the proposed project.]*

Response: Not applicable. Because the proposed WTS facility is a moderate visibility facility, it is not subject to the Type I review process.

3. Type III Review Process. *The Planning Commission or Hearings Official review and approve a Discretionary Use application and a concurrently processed Site Plan Review application for the following WTS facilities:*

- a. High visibility and moderate visibility WTS facilities.*
- b. All other locations and situations not specified in Subsections H(2) and (3.)*
- c. The Planning Commission or Hearings Official will use the applicable criteria specified in Subsection I in place of the Discretionary Use criteria in Section 5.9-120 to evaluate the proposal.*

Response: Because the proposed WTS facility is a moderate visibility facility, it subject to a Type III review of a Discretionary Use and a Site Plan Review applications.

4. Council Notification and Possible Review.

Date Received:

Land Use Application

- a. *A briefing memorandum shall be prepared and submitted to the City Council upon receipt of an application for a high or moderate visibility or any other WTS facility subject to review by the Planning Commission. By action of the City Council, an application for a facility proposed within the city limits may be evaluated for direct City Council review. In those instances where an application is elevated for direct review, the City Council shall be the Approval Authority and will use the applicable criteria specified in Subsection I in place of the Discretionary Use criteria in Section 5.9-120 to evaluate the proposal.*
- b. *By agreement with Lane County, the Hearings Official shall be the Approval Authority for applications outside of the city limits but inside of the Springfield Urban Growth Boundary. The Hearings Official will use the applicable criteria in Subsection I in place of the Discretionary Use criteria in Section 5.9-120 to evaluate the proposal.*

Response: The Applicant will comply with this standard.

I. Approval Criteria

- 1. ***Low Visibility and Stealth WTS Facility Applications.** The Director shall approve the low visibility and stealth facility applications upon determination that the applicable standards specified in Subsection G are met.*

Response: Not applicable. The proposed WTS facility is a moderate visibility facility.

- 2. ***Moderate and High Visibility WTS Facility Applications.** The Approval Authority shall approve moderate visibility and high visibility WTS facility applications upon a determination that the applicable standards specified in Subsection G are met. Through the Discretionary Use review, the Approval Authority shall also determine if there are any impacts of the proposed WTS facility on adjacent properties and on the public that can be mitigated through application of other Springfield Development Code standards or conditions of approval as specified in Subsection J.*

Response: Compliance with the applicable standards specified in Subsection G begins on page 14 of this document.

J. Conditions of Approval

For Type III applications, the Approval Authority may impose any reasonable conditions deemed necessary to achieve compliance with the approval criteria as allowed by Section 5.9-125.

Response: The Applicant will comply with this standard.

Date Received:

K. Maintenance

The property owner and carrier in charge of the WTS facility and tower shall maintain all equipment and structures, landscaping, driveways, and mitigating measures as approved. Additionally:

- 1. All WTS facilities shall maintain compliance with current RF emission standards of the FCC, the National Electric Safety Code, and all State and local regulations.*

Response: The Applicant will comply with this standard.

- 2. All equipment cabinets shall display a legible operator's contact number for reporting maintenance problems.*

Response: The Applicant will comply with this standard.

L. Inspections

- 1. The City shall have the authority to enter onto the property upon which a WTS facility is located to inspect the facility for the purpose of determining whether it complies with the Building Code and all other construction standards provided by the City and Federal and State law.*

Response: The Applicant will comply with this standard.

- 2. The City reserves the right to conduct inspections at any, upon reasonable notice to the WTS facility owner. In the event the inspection results in a determination that violation of applicable construction and maintenance standards established by the City has occurred, remedy of the violation may include cost recovery for all City costs incurred in confirming and processing the violation.*

Response: The Applicant will comply with this standard.

M. Abandonment or Discontinuation of Use

The following requirements apply to the abandonment and/or discontinuation of use for all WTS facilities:

- 1. All WTS facilities located on a utility pole shall be promptly removed at the operator's expense at any time a utility is scheduled to be placed underground or otherwise moved.*

Response: Not applicable. The proposed WTS facility would not be located on a utility pole.

- 2. All operators who intend to abandon or discontinue the use of any WTS facility shall notify the City of their intentions no less than 60 days prior to the final day of use.*

Date Received:

Land Use Application

Response: The Applicant will comply with this standard.

3. *WTS facilities shall be considered abandoned 90 days following the final day of use or operation.*

Response: The Applicant will comply with this standard.

4. *All abandoned WTS facilities shall be physically removed by the service provider and/or property owner no more than 90 days following the final day of use or of determination that the facility has been abandoned, whichever occurs first.*

Response: The Applicant will comply with this standard.

5. *The City reserves the right to remove any WTS facilities that are abandoned for more than 90 days at the expense of the facility owner.*

Response: The Applicant will comply with this standard.

6. *Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain.*

Response: The Applicant will comply with this standard.

N. Review of WTS Facilities Standards

In the event that the Federal or State government adopts mandatory or advisory standards more stringent than those described in this Section, staff will prepare a report and recommendation for the City Council with recommendations on any necessary amendments to the City's adopted standards.

Response: No response necessary.

Date Received:



IV. COMPLIANCE WITH SPRINGFIELD ORDINANCE NUMBER 5.9-100 DISCRETIONARY USES

5.9-105. Purpose

There are certain uses which, due to the nature of their impact on nearby uses and public facilities, require a case-by-case review and analysis at the Planning Commission or Hearing Official level. These impacts include, but are not limited to, the size of the area required for the full development of a proposed use, the nature of the traffic problems incidental to operation of a use, and the effect the use may have on any nearby existing uses. To mitigate these and other possible impacts, conditions may be applied to address potential adverse effects associated with the proposed use. This Section provides standards and procedures under which a Discretionary Use may be permitted, expanded, or altered.

Response: According to Section 4.3-145(H)(3) a moderate visibility WTS facility is subject to Discretionary Use review.

5.9-110. Siting of Schools

*Schools are identified in the Metro Plan as key urban services, which shall be provided in an efficient and logical manner to keep pace with demand.
[The remainder of this subsection was intentionally excluded because it is about schools and thus does not relate to the proposed project.]*

Response: Not applicable. No school is part of the proposed project.

5.9-115. Review

A. *New Discretionary Uses are reviewed under Type III procedure. Typically, a Discretionary Use application is reviewed concurrently with a Site Plan application. However, upon request from the applicant, the Director may allow the Discretionary Use application to be processed first.*

Response: The Applicant will comply with this standard.

**B. *Expansions and alterations are reviewed under:
[The remainder of this subsection was intentionally excluded because it is about expansions and alterations while the proposed project is a new use.]***

Response: Not applicable. No expansion or alteration is part of the proposed project.

Date Received:

5.9-120. Criteria

A Discretionary Use may be approved only if the Planning Commission or Hearings Official finds that the proposal conforms with the Site Plan Review approval criteria specified in Section 5.17-125, where applicable, and the following approval criteria:

A. The proposed use conforms with applicable:

1. Provisions of the Metro Plan;

Response: Not applicable. According to Subsection D below, wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.

2. Refinement plans;

Response: Not applicable. According to Subsection D below, wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.

3. Conceptual Development Plans; or

Response: Not applicable. According to Subsection D below, wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.

4. Specific Development Standards in this Code.

Response: Not applicable. According to Subsection D below, wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.

B. The site under consideration is suitable for the proposed use, considering:

1. The location, size, design, and operations characteristics of the use (operating characteristics include but are not limited to parking, traffic, noise, vibration, emissions, light, glare, odor, dust, visibility, safety, and aesthetic considerations, where applicable;)

Response: Not applicable. According to Subsection D below, wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.

2. Adequate and safe circulation exists for vehicular access to and from the proposed site and on-site circulation and emergency response as well as pedestrian, bicycle, and transit circulation;

Date Received:

Land Use Application

Response: Not applicable. According to Subsection D below, wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.

- 3. *The natural and physical features of the site including, but not limited to, riparian areas, regulated wetlands, natural stormwater management/drainage areas, and wooded areas shall be adequately considered in the project design; and***

Response: Not applicable. According to Subsection D below, wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.

- 4. *Adequate public facilities and services are available including, but not limited to, utilities, streets, storm drainage facilities, sanitary sewer, and other public infrastructure.***

Response: Not applicable. According to Subsection D below, wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.

C. *Any adverse effects of the proposed use on adjacent properties and on the public can be mitigated through the:*

- 1. *Application of other Code standards (including, but not limited to, buffering from less intensive uses and increased setbacks;)***
- 2. *Site Plan Review approval conditions, where applicable;***
- 3. *Other approval conditions that may be required by the Approval Authority; and/or***
- 4. *A proposal by the applicant that meets or exceeds the cited Code standards and/or approval conditions.***

Response: Not applicable. According to Subsection D below, wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.

D. *Applicable Discretionary Use criteria in other Sections of this Code:*

- 1. *Wireless telecommunications systems facilities requiring a Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.3-145.***
- 2. *Alternative design standards for multifamily development are exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 3.2-245.***

Date Received:

Land Use Application

3. *Fences requiring Discretionary Use approval are exempt from Subsections A – C above but shall comply with the approval criteria in Section 4.4-115C.*
4. *The siting of public elementary, middle, and high schools requiring Discretionary Use approval is exempt from Subsections A – C above but shall comply with the approval criteria specified in Section 4.7-195.*

Response: Compliance with the approval criteria specified in Section 4.3-145 can be found in Part III of this document beginning on page 14.

5.9-125. *Conditions*

The Approval Authority may attach conditions as may be reasonably necessary in order to allow the Discretionary Use approval to be granted.

Response: The Applicant will comply with this standard.

Date Received:

V. COMPLIANCE WITH SPRINGFIELD ORDINANCE NUMBER 5.17-100 SITE PLAN REVIEW

5.17-105. Purpose and Applicability

A. The purpose of Site Plan Review is to: facilitate and enhance the value of development; regulate the manner in which land is used and developed; ensure the provision of public facilities and services; maintain the integrity of the City's watercourses by promoting bank stability, assisting in flood protection and flow control, protecting riparian functions, minimizing erosion, and preserving water quality and significant fish and wildlife areas; provide for connectivity between different uses; utilize alternative transportation modes including walking, bicycling, and mass transit facilities; implement the Metro Plan, applicable refinement plans, and specific area plans and development plans; minimize adverse effects on surrounding property owners and the general public through specific approval conditions; and otherwise protect the public health and safety.

Response: According to Section 4.3-145(H)(3) a moderate visibility WTS facility is subject to Site Plan Review.

B. Site Plan Review is required for:

1. Single-family and duplex dwellings on properties zoned Medium Density Residential and High Density Residential in order to meet the minimum density requirements of these zones;

[The remainder of this subsection was intentionally excluded because it is about dwellings and thus does not relate to the proposed project.]

Response: Not applicable. No dwelling is part of the proposed project.

2. Multifamily residential, commercial, public and semi-public, and industrial development or uses, including construction of impervious surfaces for parking lots and storage areas, including:

a. New development on vacant sites and redevelopment as a result of demolition and removal of existing buildings and impervious surfaces on a formerly occupied site, except where a proposed development qualifies as an MDS Application in accordance with SDC Section 5.15.

b. Additions or expansions that exceed either 50 percent of the existing building gross floor area or 5,000 square feet or more of new building gross floor area and/or impervious surface area, except where a proposed development qualifies as an MDS Application in accordance with SDC Section 5.15.

Date Received:

5.17-120. Submittal Requirements

All Site Plan applications shall be prepared by an Oregon licensed Architect, Landscape Architect, Civil Engineer, or Surveyor as determined by the Director. A Site Plan shall contain all the elements deemed necessary by the Director to demonstrate that provisions of this Code are being fulfilled and may include, but not be limited to, the following:

- A. General Requirements. A Site Plan shall be drawn in ink on quality paper and shall contain the following information:**
- 1. The scale (appropriate to the area involved and sufficient to show detail of the plan and related data, for example: 1" = 30', 1" = 50', or 1" = 100',) north arrow, and date of preparation;**
 - 2. The street address and assessor's map and tax lot number;**
 - 3. The dimensions (in feet) and size (either square feet or acres) of the development area;**
 - 4. Proposed and existing buildings: location, dimensions, size (gross floor area,) conceptual floor plan, setbacks from property lines, distance between buildings, and height;**
 - 5. The location and height of proposed or existing fences, walls, outdoor equipment and storage, trash receptacles, and signs;**
 - 6. Proposed number of employees and future expansion plans;**
 - 7. Area and percentage of the site proposed for buildings, structures, driveways, sidewalks, patios, and other impervious surfaces. This information is necessary to allow staff to determine the Site Plan Review fee;**
 - 8. Observance of solar access requirements as specified in the appropriate zoning district;**
 - 9. Exterior elevations of all buildings and structures proposed for the development site;**
 - 10. Area and dimensions of all property to be conveyed, dedicated, or reserved for common open spaces, recreational areas, and other similar public and semi-public uses.**

Response: The site plan is on Sheets A-0 and A-1 of the attached drawings (Exhibit A – Site Plan and Elevations.)

- B. A Site Assessment of the entire development area prepared by an Oregon licensed Landscape Architect or Engineer and drawn to scale with existing contours at 1-foot intervals and percent of slope that precisely maps and delineates the areas described below. Proposed modifications to physical features shall be clearly indicated. The Director may waive portions of this requirement if there is a finding that the proposed development will not have an adverse impact on physical**

Date Received:

Land Use Application

features or water quality, either on the site or adjacent to the site. Adjacent properties include those within the distances specified in Section 5.17-105. Information required for adjacent properties may be generalized to show the connections to physical features. A Site Assessment shall contain the following information:

- 1. The name, location, dimensions, direction of flow, and top of bank of all watercourses that are shown on the Water Quality Limited Watercourse Map on file in the Development Services Department;*
- 2. The 100-year floodplain and floodway boundaries on the site, as specified in the latest adopted FEMA Flood Insurance Rate Maps or FEMA approved Letter of Map Amendment or Letter of Map Revision;*
- 3. The Time of Travel Zones, as specified in Section 3.3-200 and delineated on the Wellhead Protection Areas Map on file in the Development Services Department;*
- 4. Physical features including, but not limited to, significant clusters of trees and shrubs, watercourses shown on the Water Quality Limited Watercourse Map and their riparian areas, wetlands, and rock outcroppings;*
- 5. Soil types and water table information as mapped and specified in the Soils Survey of Lane County; and*
- 6. Natural resource protection areas as specified in Section 4.3-117.*

Response: This information can be found on the topographic survey sheet of the attached drawings (Exhibit A – Site Plan and Elevations.)

C. An Access, Circulation, and Parking Plan complying with the provisions of this Code and containing the following information:

- 1. The location, dimensions, and number of typical, compact, and disabled parking spaces, including aisles, landscaped areas, wheel bumpers, directional signs, and striping;*
- 2. On-site vehicular and pedestrian circulation;*
- 3. Access to streets, alleys, and properties to be served, including the location and dimensions of existing and proposed driveways and driveways proposed to be closed;*
- 4. Exterior lighting as specified in Subsection H below;*
- 5. The location, type, and number of bicycle spaces;*
- 6. The amount of gross floor area applicable to the parking requirement for the proposed use;*
- 7. The location of off-street loading areas;*
- 8. Existing and proposed transit facilities;*

Date Received:

Land Use Application

9. *A copy of a Right-of-Way Approach Permit application, where the property has frontage on an Oregon Department of Transportation (ODOT) facility; and*
10. *A Traffic Impact Study prepared by a Traffic Engineer as specified in Section 4.2-105(A)(4.)*

Response: This information can be found on Sheets A-0 and A-1 of the attached drawings (Exhibit A – Site Plan and Elevations.)

D. A Landscape Plan, drawn by a Landscape Architect or other professional approved by the Director, complying with the provisions of this Code that contains the following information:

1. *Screening as specified in Section 4.4-110;*
2. *The use of plantings in erosion control and stormwater treatment facilities, if any;*
3. *A permanent irrigation system, unless specifically exempted as specified in Section 4.4-100;*
4. *Street trees as specified in Section 4.2-140;*
5. *A specifications list for all materials to be used shall accompany the Planting Plan. Plant sizes shall be listed at the time of installation and shown on the Planting Plan at mature size; and*
6. *A description of planting methods as specified in Section 4.4-100.*

Response: The landscape plan is on Sheet A-1.1 of the attached drawings (Exhibit A – Site Plan and Elevations.)

E. An Improvements Plan complying with the standards of Sections 4.1-100, 4.2-100, and 4.3-100 that contains the following information:

1. *The name and location of all existing and proposed public and private streets within or on the boundary of the proposed development site including the right-of-way and paving dimensions and the ownership and maintenance status, if applicable;*
2. *Location of existing and required traffic control devices, fire hydrants, streetlights, power poles, transformers, neighborhood mailbox units, and similar public facilities;*
3. *The location, width, and construction material of all existing and proposed sidewalks, sidewalk ramps, pedestrian access ways, and trails; and*
4. *The location and size of existing and proposed utilities and necessary easements and dedications on and adjacent to the site including sanitary sewer mains, stormwater management systems, water mains, gas, telephone, and cable TV. Indicate the proposed connection points.*

Date Received:

MAY 01 2015

Land Use Application

Response: This information can be found on Sheets A-0 and A-1 of the attached drawings (Exhibit A – Site Plan and Elevations.)

F. A Grading, Paving, and Stormwater Management Plan drawn to scale with existing contours at 1-foot intervals and percent of slope that precisely maps and addresses the information described below. In areas where the percent of slope is 10 percent or more, contours may be shown at 5-foot intervals. This plan shall show the stormwater management system for the entire development area. For Site Plans with more than 5,000 square feet of new paving area, an Oregon licensed Civil Engineer shall prepare the plan. Where plants are proposed as part of the stormwater management system, an Oregon licensed Landscape Architect may be required. The plan shall include the following components:

- 1. Roof drainage patterns and discharge locations;**
- 2. Pervious and impervious area drainage patterns;**
- 3. The size and location of stormwater management systems components including, but not limited to: drain lines, catch basins, dry wells and/or detention ponds, stormwater quality measures, and natural drainageways to be retained;**
- 4. Existing and proposed elevations, site grade, and contours; and**
- 5. A stormwater management system plan with supporting calculations and documentation as required in Section 4.3-110 shall be submitted supporting the proposed system. The plan, calculations, and documentation shall be consistent with the Engineering Design Standards and Procedures Manual to allow staff to determine that the proposed stormwater management system will accomplish its purposes.**

Response: This information can be found on the topographic survey sheet and Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations.)

G. A Phased Development Plan, where applicable, that indicates any proposed phases for development, including the boundaries and sequencing of each phase as specified in Section 5.17-115.

[The remainder of this subsection was intentionally excluded because it is about phased development and thus does not relate to the proposed project.]

Response: Not applicable. The proposed project does not include any phasing of development.

H. An On-site Lighting Plan showing the location, orientation, and maximum height of all proposed exterior light fixtures, both free standing and attached. The lighting plan shall also detail the type and extent of shielding, including cut-off angles and the type of illumination, the wattage, luminous area, and a photometric test report for each light source.

Date Received:

Land Use Application

Response: This information can be found on Sheets A-4 and A-6 of the attached drawings (Exhibit A – Site Plan and Elevations.)

1. Additional information and/or applications required at the time of Site Plan

Review applications submittal shall include the following items, where applicable:

1. A brief narrative explaining the purpose of the proposed development and the existing use of the property.

Response: The purpose of the proposed development is explained in Parts I and II of this document beginning on pages 1 and 2, respectively.

2. If the applicant is not the property owner, written permission from the property owner is required as specified in Subsection 5.4-105(B)(2.)

Response: Written permission from the property owner is attached as Exhibit M – Land Owner Authorization.

3. A Vicinity Map drawn to scale showing bus stops, streets, driveways, pedestrian connections, fire hydrants, and other transportation/fire access issues within 200 feet of the proposed development area.

Response: This information can be found on Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations.)

4. How the proposal addresses the standards of the applicable overlay district, where applicable.

Response: To avoid any issues with drinking water protection, the proposed WTS facility would utilize a natural gas-powered emergency generator.

5. How the proposal addresses Discretionary Use criteria, where applicable.

Response: Compliance with the Discretionary Use criteria specified in Section 4.3-145 can be found in Part III of this document beginning on page 14.

6. A Tree Felling Permit as specified in Section 5.19-100.

Response: Not applicable. No trees would be felled as part of the proposed project.

7. An Annexation application, as specified in Section 5.7-100, where a development is proposed outside of the city limits but within the City's urban service area and can be serviced by sanitary sewer.

Response: Not applicable. Annexation is not part of the proposed project.

Date Received:

Land Use Application

8. A wetland delineation approved by the Department of State Lands shall be submitted concurrently, where there is a wetland on the property.

Response: Not applicable. There is no wetland on the subject property.

9. Evidence that any Federal or State permit has been applied for or approved shall be submitted concurrently.

Response: Not applicable. No federal or state permits are required for the proposed project.

10. A Geotechnical Report prepared by an Engineer shall be submitted concurrently if the required Site Assessment specified in Section 5.17-120 indicates the proposed development area has unstable soils and/or a high water table as specified in the Soils Survey of Lane County. (6274; 6211)

Response: Not applicable. The proposed development area was not found to have unstable soils or a high water table.

5.17-125. Criteria

The Director shall approve or approve with conditions a Type II Site Plan Review application upon determining that approval criteria in Subsections A through E below have been satisfied. If conditions cannot be attached to satisfy the approval criteria, the Director shall deny the application.

A. The zoning is consistent with the Metro Plan diagram and/or the Refinement Plan diagram, Plan District map, and Conceptual Development Plan.

Response: According to the Eugene-Springfield Metropolitan General Plan "Plan Diagram," the subject property is designated as Commercial. According to the Springfield Zoning Map dated May 2014, the subject property is zoned CC – Community Commercial. The proposed WTS facility would be a monopine, which is a moderate visibility facility. Moderate visibility facilities are allowed in the subject property's Community Commercial zoning district, as stated in Table 4.3-1 of Section 4.3-145.

The subject property is not part of a Refinement Plan or Conceptual Development Plan.

B. Capacity requirements of public and private facilities including, but not limited to, water and electricity, sanitary sewer and stormwater management facilities, and streets and traffic safety controls shall not be exceeded and the public improvements shall be available to serve the site at the time of development, unless otherwise provided for by this Code and other applicable regulations. The Public Works Director or a utility provider shall determine capacity issues.

Date Received:

Land Use Application

Response: The only utilities required for the proposed WTS facility are power and fiber. Sheet A-0 of the attached drawings (Exhibit A – Site Plan and Elevations) shows where the nearest existing power and fiber utilities are.

The amount of new impervious surface that would be created by the installation of the proposed WTS facility is 712 square feet. Compared to the existing property square footage of 85,490 square feet, the new impervious surface would make up 0.83% of the property's total square footage. This amount should not overwhelm the existing storm drain catch basin on the property.

The proposed WTS facility is a passive, unstaffed use, which would generate only one maintenance trip per month.

C. *The proposed development shall comply with all applicable public and private design and construction standards contained in this Code and other applicable regulations.*

Response: As illustrated on Sheet A-1.1 of the attached drawings (Exhibit A – Site Plan and Elevations,) the proposed landscaping and screening will comply with the landscaping, screening, and fence standards. As illustrated in the "Shelter Details" on Sheet A-6 of the attached drawings (Exhibit A – Site Plan and Elevations,) the light fixture on the proposed WTS facility's equipment shelter would have a sharp cutoff in order to comply with the outdoor lighting standards.

D. *Parking areas and ingress-egress points have been designed to: facilitate vehicular traffic, bicycle, and pedestrian safety to avoid congestions; provide connectivity within the development area and to adjacent residential areas, transit stops, neighborhood activity centers, and commercial, industrial, and public areas; minimize driveways on arterial and collector streets as specified in this Code or other applicable regulations and comply with the ODOT access management standards for State highways.*

Response: The proposed WTS facility is a passive, unstaffed use, which would generate only one maintenance trip per month. Access to the site would utilize the existing gravel drive from S 42nd Street. The extension of that drive to the proposed lease compound would provide the parking space required during these monthly maintenance visits.

E. *Physical features including, but not limited to: steep slopes with unstable soil or geologic conditions; areas with susceptibility of flooding; significant clusters of trees and shrubs; watercourses shown on the WQLW Map and their associated riparian areas; other riparian areas and wetlands specified in Section 4.3-117; rock outcroppings; open spaces; and areas of historic and/or archaeological significance, as may be specified in Section 3.3-900 or ORS 97.740-760, 358.905-*

Date Received:

955, and 390.235-240, shall be protected as specified in this Code or in State or Federal law.

Response: According to the survey sheet of the attached drawings (Exhibit A – Site Plan and Elevations,) the subject property does not contain any of the listed physical features, inventoried natural resources, or watercourses.

5.17-130. Conditions

To the extent necessary to satisfy the approval criteria of Section 5.17-125, comply with all applicable provisions of this Code, and to mitigate identified negative impacts to surrounding properties, the Director may impose approval conditions. Conditions imposed to satisfy the Site Plan application approval criteria shall not be used to exclude “needed housing” as defined in OAR 660-08-015. All conditions shall be satisfied prior to Final Site Plan approval. Approval conditions may include, but are not limited to:

- A. Dedication of right-of-way and/or utility easements.**
 - 1. Right-of-way, when shown in: TransPlan, transportation elements of refinement plans, or on the most recent Conceptual Local Street Plan Map, and as specified in Table 4.2-1.**
 - 2. Easements as specified in Section 4.3-140, when necessary to provide services including, but not limited to: sanitary sewers, stormwater management, water and electricity to the site and neighboring properties. The dedication of easements shall also include any easements required to access and maintain watercourses or wetlands that are part of the City’s Stormwater Management System.**
- B. Installation of sight obscuring fence and/or vegetative screen whenever a party of record or the Director identifies a land use conflict.**
- C. Installation of medians, traffic signals and signs, restricting access to and from arterial or collector streets, requiring a frontage road, restricting and strategically locating driveways, and/or requiring the joint use of driveways to serve 2 or more lots/parcels through a Joint Use/Access Agreement when transportation safety issues are identified by the Transportation Planning Engineer and/or a Traffic Impact Study.**
- D. Modification of the layout of structures caused by the location of streets, required stormwater management systems including, but not limited to, swales and detention basins or when required by the Geotechnical report specified in Section 5.17-120.**
- E. Installation of a noise attenuating barrier, acoustical building construction, and/or site modifications as specified in Section 4.4-110 or similar measures approved by an acoustical engineer registered in the State of Oregon to minimize negative effects on noise sensitive property from noise found to exceed acceptable noise**

Date Received:

Land Use Application

- levels prescribed in the Oregon Administrative Rules or the Federal Highway Administration Noise Abatement Criteria.*
- F. Limiting the hours of operation whenever a land use conflict is identified by the Director or a party or record including, but not limited to, noise and traffic generation.*
 - G. Phasing of development to match availability of public facilities and service including, but not limited to, water and electricity, sanitary sewer and stormwater management facilities, and streets and traffic safety controls when the facilities and services are near capacity, as determined by the Public Works Director or the utility provider.*
 - H. Submittal of a Land and Drainage Alteration Permit.*
 - I. Retention and protection of existing physical features and their functions including, but not limited to: significant clusters of trees and shrubs and watercourses shown on the WQLW Map and their riparian areas and wetlands by:
 - 1. Planting replacement trees where encroachment is allowed into riparian areas shown on the WQLW Map on file in the Development Services Department;*
 - 2. Re-vegetation including, but not limited to: trees and native plants of slopes, ridgelines, and stream corridors;*
 - 3. Restoration of natural vegetation;*
 - 4. Removal of invasive plant species, based upon the Invasive Plan List on file in the Development Services Department;*
 - 5. Relocating the proposed development on another portion of the site;*
 - 6. Reducing the size of the proposed development; and/or*
 - 7. Mitigation of the loss of physical features caused by the proposed development with an equivalent replacement either on site or on an approved site elsewhere within the City's jurisdiction, as approved by the Director.**
 - J. Installation of lighting for outdoor circulation, parking, and safety, including approval of the type and placement of the outdoor lighting as specified in Section 4.5-100.*
 - K. The Director may waive the requirements that buildable City lots/parcels have frontage on a public street when the following apply:
 - 1. The lots/parcels have been approved as part of a Subdivision or Partition application; and*
 - 2. Access has been guaranteed via a private street to a public street or driveway by an irrevocable joint use/access agreement.**
 - L. The applicant shall submit copies of required permits to demonstrate compliance with the applicable: Federal programs, regulations, and statutes; State programs, regulations, and statutes; and/or local programs, regulations, and statutes prior to the approval of the Final Site Plan. When a Federal or State agency issues a*

Date Received:

Land Use Application

permit that substantially alters an approved Preliminary Site Plan, the Director shall require the applicant to submit a Site Plan Modification as specified in Section 5.17-145.

- M. Approval of a Stormwater Management Plan for the development demonstrating compliance with the applicable provisions of Section 4.3-110 and the Engineering Design Standards and Procedures Manual.**

Response: The Applicant will comply with this standard.

5.17-135. Final Site Plan/Final Site Plan Equivalent Map

- A. Final Site Plan, Generally.** *Within 90 days of an affirmative decision by the Approval Authority, a complete Final Site Plan shall be submitted to the Development Services Department. The Final Site Plan submittal shall incorporate all approval conditions listed in the staff report. The Final Site Plan shall become null and void if construction has not begun within 2 years of the signing of the Development Agreement required in Section 5.17-140.*
- B. Final Site Plan Equivalent Map.** *In case of developed or partially developed industrial properties more than 5 acres in size that did not receive Final Site Plan approval prior to the adoption of this Code, the Director may approve a Final Site Plan Equivalent Map to allow the property owner to use the Site Plan Modification process specified in Section 5.17-145 for future additions and expansions.*

[The remainder of this subsection was intentionally excluded because it is about final site plan equivalent maps and thus does not relate to the proposed project.]

Response: The Applicant will comply with this standard.

5.17-140. Development Agreement

- A. To complete the Site Plan Review Process, a Development Agreement shall be prepared by the Director to be signed by the applicant. The purpose of the Development Agreement is to ensure that the terms and conditions of Site Plan Review approval are understood and binding upon both the applicant and the City. The Development Agreement and the Final Site Plan approval are valid for 2 years from the date the document is signed. If construction does not begin within the time line, both the Final Site Plan and the Development Agreement shall become null and void. However, 1 extension, not to exceed 1 year, may be granted by the Director upon receipt of a written request by the applicant, including an explanation of the delay. Work under progress shall not be subject to Final Site Plan or Development Agreement expiration**
EXCEPTION: No Development Agreement shall be required for a Final Site Plan Equivalent Map application that is approved as specified in Section 5.17-135.

Date Received:

Land Use Application

- B. A Building Permit may be issued by the Building Official only after the Development Agreement has been signed by the applicant.**
- C. No building or structure shall be occupied until all improvements are made as specified in this Section, unless otherwise permitted in Section 5.17-150.**
- D. Upon satisfactory completion of site development, as determined by a Final Site Inspection (prior to the final building inspection,) the City shall authorize the provision of public facilities and services and issue a Certificate of Occupancy.**

Response: The Applicant will comply with this standard.

5.17-145. Modifications

- A. The Site Plan Modification process establishes procedures to allow certain adjustments to an approved Site Plan, either after Preliminary Approval or after Final Approval. This process shall assure that any proposed Major Site Plan Modification continues to comply with the approval criteria in Section 5.17-125.**
- B. The Site Plan Modification process shall only apply to Site Plan applications approved after June 5, 1986.**
[The remainder of this subsection was intentionally excluded because it is modifications and thus does not relate to the proposed project.]
- C. The Director shall determine whether the Site Plan Modification will be processed under a Type I or Type II review process as follows:**
[The remainder of this subsection was intentionally excluded because it is about modifications and thus does not relate to the proposed project.]
- D. The criteria of approval for a Site Plan Modification application shall be in compliance with the applicable standard and/or criteria of approval specified in Section 5.17-125.**
- E. The Director may require approval conditions as specified in Section 5.17-130.**
- F. A Final Site Plan and Development Agreement is required as specified in Sections 5.17-135 and 5.17-140.**

Response: Not applicable. No site plan modification is part of the proposed project.

5.17-150. Security and Assurances

All required improvements shall be installed prior to the issuance of a Certificate of Occupancy or Final Building Inspection for the development, unless specified in Section 5.15-100 or improvements may be deferred for good cause by the Director if security as specified in Subsection C below is approved to the satisfaction of the City Attorney.

- A. A Temporary Certificate of Occupancy may be issued prior to complete installation and approval of improvements, if security is filed with the City.**

Date Received:

Land Use Application

- B. Required security shall equal 110 percent of the cost of design, materials, and labor as determined by the Director. Required security may consist of cash, certified check, time certificate or deposit, or lending agency certification to the City that funds are being held until completion.**
- C. If the installation of improvements is not completed within the period stipulated by the Director or if the improvements have been improperly installed, the security may be used by the City to complete the installation or the security may be held by the City and other enforcement powers employed to prevent final occupancy until the improvements and completed..**
- D. Upon completion of the improvements as certified by the Director, any portion of the remaining security deposit with the City, including any accrued interest, shall be returned.**

Response: The Applicant will comply with this standard.

5.17-155. Maintaining the Use

Once a Certificate of Occupancy has been granted or a Final Building Inspection has taken place:

- A. The building and site shall be maintained as specified in this Code in order to continue the use.**
- B. It shall be the continuing obligation of the property owner to maintain the planting required by Section 4.4-100 in an attractive manner free of weeds and other invading vegetation. Plantings in the vision clearance area shall be trimmed to meet the 2.5 foot height standard as specified in Section 4.2-130.**
- C. Parking lots shall be maintained by the property owner or tenant in a condition free of litter and dust and deteriorated pavement conditions shall be improved to maintain conformance with these standards.**
- D. Undeveloped land within a development area shall be maintained free of trash and stored materials in a mowed and attractive manner. Undeveloped land shall not be used for parking.**

Response: The Applicant will comply with this standard.

Date Received:

VI. CONCLUSION

Based on the foregoing analysis and findings, the Applicant requests Discretionary Use and Site Plan Review approval of the proposed WTS facility. The application meets all applicable criteria for approval.

VII. EXHIBITS

- A. Site Plan and Elevations
- B. RF Justification Letter
- C. Inventory of Existing Towers
- D. Visual Impact Study
- E. Noise Report
- F. FAA and ODA Determinations
- G. NIER Report
- H. FCC Licenses
- I. Co-location Agreement
- J. Lease Excerpt
- K. Title Report
- L. Development Issues Meeting Letter
- M. Land Owner Authorization

Date Received:

MAY 01 2015

EXHIBIT A

Site Plan and Elevations

Date Received:

MAY 01 2015



EUG CLEARWATER

4164 JASPER RD
SPRINGFIELD, OR 97478

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.



SIGNED: 04/27/15

No.	Date	Revision
A	10/20/14	90% PZD REVISION
B	12/11/14	100% PZD FINAL SET
0	04/27/15	ZONING SUBMITTAL
1		
2		

VICINITY MAP



PROJECT INFORMATION

JURISDICTION: CITY OF SPRINGFIELD NEW IMPERVIOUS AREA: 377.25 SF
 ZONING CLASS: CC (COMMUNITY COMMERCIAL)
 OCCUPANCY GROUP: UTILITY
 CONSTRUCTION TYPE: VB
 TAX PARCEL ID: 1802052300100
 PARCEL SIZE: 5.2 ACRES
 LATITUDE: 44° 02' 10.02" N
 44.036117°
 LONGITUDE: 122° 57' 47.28" W
 -122.963133°
 GROUND ELEVATION: 489' AMSL
 STRUCTURE HEIGHT: 85'-0" (TOP OF PROPOSED TOWER)

SCOPE OF WORK

VERIZON WIRELESS PROPOSES TO INSTALL AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF A 85 MONDPINE STEALTH POLE WITH (12) ANTENNAS AND RELATED EQUIPMENT AND ACCESSORIES.

LIST OF DRAWINGS

SHEET	DESCRIPTION
T-1	COVER SHEET
T-2	GENERAL NOTES AND SYMBOLS
C-1	TOPOGRAPHICAL SURVEY
A-0	PROPOSED SITE PLAN
A-1	PROPOSED COMPOUND PLAN
A-1.1	PROPOSED COMPOUND LANDSCAPE PLAN
A-2	PROPOSED TOWER ELEVATION
A-3	CONSTRUCTION DETAILS
A-3.1	ANTENNA MOUNT DETAILS
A-4	CONSTRUCTION DETAILS
A-5	EQUIPMENT DETAILS
A-6	SHELTER DETAILS
A-7	FOUNDATION DETAILS
A-8	BATTERY AND SIGNAGE INFORMATION
RF-1	PROPOSED ANTENNA CONFIGURATION

LEGAL DESCRIPTION

BEGINNING AT A POINT 27.58 CHAINS SOUTH OF THE NORTHEAST CORNER OF THE JOHN R. MAGNESS DONATION LAND CLAIM No. 50, TOWNSHIP 18 SOUTH RANGE 2 WEST OF THE WILLAMETTE MERIDIAN, THENCE SOUTH ALONG THE EAST SIDE OF SAID CLAIM, 246.41 FEET TO THE TRUE POINT OF BEGINNING OF THE DESCRIPTION, THENCE WEST 549.78 FEET, THENCE SOUTH 545.59 FEET TO THE MIDDLE OF THE COUNTY ROAD, THENCE EAST 548.78 FEET, THENCE NORTH 545.59 FEET TO THE TRUE POINT OF BEGINNING, ALL IN LANE COUNTY, OREGON.

EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE CITY OF SPRINGFIELD BY DEED RECORDED JULY 12, 2005 RECEPTION No. 2005-051442, AND RECORDED OCTOBER 12, 2006, AS RECEPTION No. 2006-073883M LANE COUNTY OFFICIAL RECORDS.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT CONDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

OREGON STATE AND LOCAL BUILDING CODES WITH THE FOLLOWING REFERENCE CODE:
 2014 OREGON STRUCTURAL SPECIALTY CODE
 2011 OREGON ELECTRICAL SPECIALTY CODE
 2014 OREGON MECHANICAL SPECIALTY CODE
 2011 NFPA 101 LIFE SAFETY CODE

CONTACTS

IMPLEMENTATION CONTACT:
 TOM WALL
 VERIZON WIRELESS (VAW) LLC
 (d/b/a VERIZON WIRELESS)
 185 MAPLE ST
 EUGENE, OR 97402
 PHONE: (541) 401-0001
 tom.wall@verizonwireless.com

PROPERTY OWNER CONTACT:
 JOHN ERVING, BROKER
 JASPER JUNCTION LLC
 85831 PARKLANE CIRCLE
 PLEASANT HILL, OR 97455
 PHONE: (541) 345-4860

APPLICANT/CLIENT CONTACT:
 CHIP O'HEARN
 SMARTLINK
 621 SW ALDER ST, SUITE 660
 PORTLAND, OR 97205
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 chip.ohearn@smartlinkinc.com

PERMIT CONTACT:
 LAUREN RUSSELL
 SMARTLINK
 621 SW ALDER ST, SUITE 660
 PORTLAND, OR 97205
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 lauren.russell@smartlinkinc.com

A&E CONTACT:
 RICK MATTESON
 ACOM CONSULTING, INC.
 1125 SE CLATSOP ST
 PORTLAND, OR 97202
 PHONE: (425) 209-8723
 rick.matteson@acomconsultinginc.com

APPROVALS

TITLE	SIGNATURE	DATE
REPRESENTATIVE		
RE ENGINEER		
SITE OWNER		

DRIVING DIRECTIONS

(FROM VERIZON WIRELESS OFFICE - PORTLAND, OR):

FROM PORTLAND GO NORTH ON NE 122ND AVE. TURN LEFT ONTO NE AIRPORT WAY. GO WEST 1 MILE. MERGE ONTO I-205 S. GO SOUTH 24.9 MILES. MERGE ONTO I-5 S. GO SOUTH 93.8 MILES. MERGE ONTO OR 126 E VIA EXIT 194A. GO 4 MILES EAST TOWARD SPRINGFIELD. TAKE THE 42ND ST EXIT. 4 MILES. TURN RIGHT ONTO S 42ND ST. GO SOUTH 1.9 MILES TO 920 S 42ND ST. THE ACCESS CURB CUT TO THE PROPERTY AND VACANT STORE BUILDING IS ON YOUR RIGHT. THE PROPOSED SITE LOCATION IS ABOUT 400' WEST OF S 42ND ST NEAR THE NORTHWEST CORNER OF THE PROPERTY.

Date Received:

MAY 01 2015



Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97478

Drawing Title:
COVER SHEET

Project Number:	Date:
	04/27/15
Drafter:	Designer:
RM	RM
Project Manager:	Professional of Record:
AM	RJ
Revision No:	Sheet No:
0	T-1

GENERAL NOTES

1. WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL NECESSARY LICENSES, CERTIFICATES, ETC., REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
2. ACOM AND THE ARCHITECT HAVE NOT CONDUCTED, NOR DOES IT INTEND TO CONDUCT ANY INVESTIGATION AS TO THE PRESENCE OF HAZARDOUS MATERIAL, INCLUDING, BUT NOT LIMITED TO, ASBESTOS WITHIN THE CONFINES OF THIS PROJECT. ACOM DOES NOT ACCEPT RESPONSIBILITY FOR THE INDEMNIFICATION, THE REMOVAL, OR ANY EFFECTS FROM THE PRESENCE OF THESE MATERIALS. IF EVIDENCE OF HAZARDOUS MATERIALS IS FOUND, WORK IS TO BE SUSPENDED AND THE OWNER NOTIFIED. THE CONTRACTOR IS NOT TO PROCEED WITH FURTHER WORK UNTIL INSTRUCTED BY THE OWNER IN WRITING.
3. ALL MATERIAL FURNISHED UNDER THIS CONTRACT SHALL BE NEW, UNLESS OTHERWISE NOTED. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP. THE CONTRACTOR SHALL REPAIR OR REPLACE AT HIS EXPENSE ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIALS OR WORKMANSHIP WITHIN SAID PERIOD OF TIME OR FOR ONE YEAR AFTER THE FINAL ACCEPTANCE OF THE ENTIRE PROJECT, WHICHEVER IS GREATER.
4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND UTILITIES AT THE JOB SITE BEFORE WORK IS STARTED. NO CLAIMS FOR EXTRA COMPENSATION FOR WORK WHICH COULD HAVE BEEN FORESEEN BY AN INSPECTION, WHETHER SHOWN ON THE CONTRACT DOCUMENTS OR NOT, WILL BE ACCEPTED OR PAID.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS AT THE JOB SITE WHICH COULD AFFECT THE WORK UNDER THIS CONTRACT. ALL MANUFACTURERS RECOMMENDED SPECIFICATIONS, EXCEPT THOSE SPECIFICATIONS HEREIN, WHERE MOST STRINGENT SHALL BE COMPLIED WITH.
6. THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZE AND LOCATION OF ALL OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, OR ARCHITECTURAL WORK.
7. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS, AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE MET. NOTIFY THE CONSULTANT OF ANY CONFLICTS. THE CONSULTANT HAS THE RIGHT TO MAKE MINOR MODIFICATIONS IN THE DESIGN OF THE CONTRACT WITHOUT THE CONTRACTOR GETTING ADDITIONAL COMPENSATION.
8. DO NOT SCALE THE DRAWINGS. DIMENSIONS ARE EITHER TO THE FACE OF FINISHED ELEMENTS OR TO THE CENTER LINE OF ELEMENTS, UNLESS NOTED OTHERWISE. CRITICAL DIMENSIONS SHALL BE VERIFIED AND NOTIFY THE CONSULTANT OF ANY DISCREPANCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL TRADES AND REMOVE ALL DEBRIS FROM THE CONSTRUCTION SITE. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING, SITE, AND ANY OTHER SURROUNDING AREAS TO A BETTER THAN EXISTING CONDITION.
10. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.
11. THE CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS FOR ALL INSTALLATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING CONSTRUCTION AND REPAIR ALL DAMAGES TO BETTER THAN NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DAMAGE TO THE BUILDING SITE OR ANY ADJACENT STRUCTURES AROUND THE PROJECT. THE CONSULTANT SHALL BE SOLE AND FINAL JUDGE AS TO THE QUALITY OF THE REPAIRED CONSTRUCTION. ANY ADDITIONAL MODIFICATIONS WHICH MUST BE MADE SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
13. WHERE ONE DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS OR REFERRED TO IN THE SPECIFICATIONS, UNLESS NOTED OTHERWISE.
14. WHERE NEW PAVING, CONCRETE SIDEWALKS OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION SO THE ENTIRE STRUCTURE SHALL HAVE A SMOOTH TRANSITION.
15. THE CONTRACTOR SHALL MODIFY THE EXISTING FLOORS, WALL, CEILING, OR OTHER CONSTRUCTION AS REQUIRED TO GAIN ACCESS TO AREAS FOR ALL MECHANICAL, PLUMBING, ELECTRICAL, OR STRUCTURAL MODIFICATIONS. WHERE THE EXISTING CONSTRUCTION DOORS, PARTITIONS, CEILING, ETC., ARE TO BE REMOVED, MODIFIED, OR REARRANGED OR WHERE THE EXPOSED OR HIDDEN MECHANICAL, ELECTRICAL, SYSTEMS ARE ADDED OR MODIFIED, THE GENERAL CONTRACTOR SHALL REPAIR, PATCH AND MATCH ALL EXISTING CONSTRUCTION AND FINISHES OF ALL FLOORS WALLS AND CEILINGS. WHERE CONCRETE MASONRY CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL TOOTH IN ALL NEW CONSTRUCTION TO MATCH THE EXISTING BOND. WHERE CONCRETE CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL VERIFY THE EXACT DETAILS TO BE USED FOR CONSTRUCTION. ALL WORK SHALL BE COVERED UNDER THE GENERAL CONTRACT.

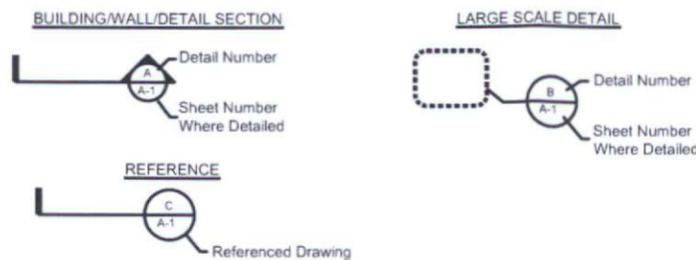
Date Received:

MAY 01 2015

Original Submittal *gm*

16. VERIFY ALL EXISTING DIMENSIONS PRIOR TO PERFORMING WORK.
17. VERIFY LOCATION OF ALL BURIED UTILITIES PRIOR TO ANY EXCAVATION.
18. IN RAWLAND CONDITIONS, TOWER FOUNDATION STRUCTURAL STEEL TO BE GROUNDED PRIOR TO CONCRETE POUR. TOWER FOUNDATION STRUCTURAL STEEL TO BE CONNECTED TO PERMANENT GROUND ROD PRIOR TO TOWER ERECTION. TOWER GROUND MUST BE MAINTAINED AT ALL TIMES.
19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR COMMERCIAL POWER IMMEDIATELY UPON AWARD OF CONTRACT. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL DOCUMENTATION RECEIVED FROM THE POWER COMPANY, ACKNOWLEDGING APPLICATION FOR POWER, WRITTEN AND VERBAL DISCUSSIONS WITH THE POWER COMPANY, ETC.
20. THE GENERAL CONTRACTOR SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY.
21. IF THE POWER COMPANY IS UNABLE TO PROVIDE THE POWER CONNECTION BY OWNER'S REQUIRED DATE, THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY GENERATOR UNTIL THE POWER COMPANY CONNECTION IS COMPLETED. COSTS ASSOCIATED WITH THE TEMPORARY GENERATOR TO BE APPROVED BY THE OWNER.
22. IF THE GENERAL CONTRACTOR FAILS TO TAKE NECESSARY MEASURES AS DESCRIBED IN NOTES 19, 20 AND 21 ABOVE, THE GENERAL CONTRACTOR SHALL PROVIDE A TEMPORARY GENERATOR AT NO COST TO THE OWNER.
23. PLANS PART OF THIS SET ARE COMPLEMENTARY. INFORMATION IS NOT LIMITED TO ONE PLAN. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE OWNER ON OTHER PROJECTS OR EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THESE PLANS WERE PREPARED TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES AND IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO BUILD ACCORDING TO APPLICABLE BUILDING CODES.
24. IF CONTRACTOR OR SUB-CONTRACTOR FIND IT NECESSARY TO DEVIATE FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR'S AND THE SUB-CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH 4 COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
25. IN EVERY EVENT, THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE MEANS OF CONSTRUCTION BUT THIS SHALL NOT RELIEVE THE CONTRACTOR, SUB-CONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND CORRECT JOB WHEN ADDITIONAL ITEMS ARE REQUIRED TO THE MINIMUM SPECIFICATION. IF ANY ITEMS NEED TO EXCEED THESE MINIMUM SPECIFICATIONS TO PROVIDE A COMPLETE, ADEQUATE AND SAFE WORKING CONDITION, THEN IT SHALL BE THE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE DRAWINGS. FOR EXAMPLE, IF AN ITEM AND/OR PIECE OF EQUIPMENT REQUIRES A LARGER WIRE SIZE (I.E. ELECTRICAL WIRE), STRONGER OR LARGER PIPING, INCREASED QUANTITY (I.E. STRUCTURAL ELEMENTS), REDUCED SPACING, AND/OR INCREASED LENGTH (I.E. BOLT LENGTHS, BAR LENGTHS) THEN IT SHALL BE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE BID/PROPOSAL. THESE DOCUMENTS ARE MEANT AS A GUIDE AND ALL ITEMS REASONABLY INFERRED SHALL BE DEEMED TO BE INCLUDED.
26. THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

LEGEND



LINE/ANTENNA NOTES

1. ALL THREADED STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLES SHALL CONFORM TO ASTM A307 OR ASTM A36. ALL STRUCTURAL FASTENERS FOR STRUCTURAL STEEL FRAMING SHALL CONFORM TO ASTM A325. FASTENERS SHALL BE 5/8" MIN. DIA. BEARING TYPE CONNECTIONS WITH THREADS EXCLUDED FROM THE PLANE. ALL EXPOSED FASTENERS, NUTS, AND WASHERS SHALL BE GALVANIZED OTHERWISE NOTED. CONCRETE EXPANSION ANCHORS SHALL BE HILTI KWIK BOLTS UNLESS OTHERWISE NOTED. ALL ANCHORS INTO CONCRETE SHALL BE STAINLESS STEEL.
2. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY MAGNETIC NORTH AND NOTIFY CONSULTANT OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
3. PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
4. THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS.
5. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. ALL BENDS TO BE A MIN. OF 8" RADIUS.
6. FOR GROUNDING TO BUILDING FRAME AND HATCH PLATE GROUND BARS. USE A TWO-BOLT HOLE NEMA DRILLED CONNECTOR SUCH AS T&B 32007 OR APPROVED EQUAL.
7. FOR ALL EXTERNAL GROUND CONNECTIONS, CLAMPS AND CADWELDS, APPLY A LIBERAL PROTECTIVE COATING OR AN ANTI-OXIDE COMPOUND SUCH AS "NO-OXIDE A" BY DEARBORN CHEMICAL COMPANY.
8. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY THERMO-WELDING. USE ERICO T-319 GALVANIZING BAR/COLD GALVANIZING PAINT.
9. SEAL ALL CONDUIT PENETRATIONS INTO MODULAR BUILDING WITH A SILICONE SEALANT AND ALL CONDUIT OPENINGS.
10. ANTENNAS AND COAX TO BE PROVIDED BY VERIZON WIRELESS. CONTRACTOR TO COORDINATE DELIVERY.

PROJECT INFORMATION

1. THIS IS AN UNMANNED FACILITY AND RESTRICTED ACCESS EQUIPMENT AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.
2. VERIZON WIRELESS CERTIFIES THAT THIS TELEPHONE EQUIPMENT FACILITY WILL BE SERVICED ONLY BY VERIZON WIRELESS EMPLOYEE SERVICE PERSONNEL FOR REPAIR PURPOSES ONLY. THIS FACILITY IS UNOCCUPIED AND NOT DESIGNED FOR HUMAN OCCUPANCY THUS IT IS NOT OPEN TO THE PUBLIC.
3. THIS FACILITY WILL CONSUME NO UNRECOVERABLE ENERGY.
4. NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.
5. NO WASTE WATER WILL BE GENERATED AT THIS LOCATION.
6. NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.
7. VERIZON WIRELESS MAINTENANCE CREW (TYPICALLY ONE PERSON) WILL MAKE AN AVERAGE OF ONE TRIP PER MONTH AT ONE HOUR PER VISIT.

IMPORTANT NOTICE

THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON VISUAL OBSERVATIONS AND INFORMATION PROVIDED BY OTHERS. ACOM CONSULTING CANNOT GUARANTEE THE CORRECTNESS NOR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN AND ASSUMES NO RESPONSIBILITY THEREOF. CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AS REQUIRED FOR PROPER EXECUTION OF PROJECT. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE CONSULTANT PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.



SIGNED: 04/27/15

No.	Date	Revision
A	10/20/14	90% PZD REVISION
B	12/11/14	100% PZD FINAL SET
0	04/27/15	ZONING SUBMITTAL
1		
2		



Project Info:
EUG CLEARWATER
 4184 JASPER RD
 SPRINGFIELD, OR 97478

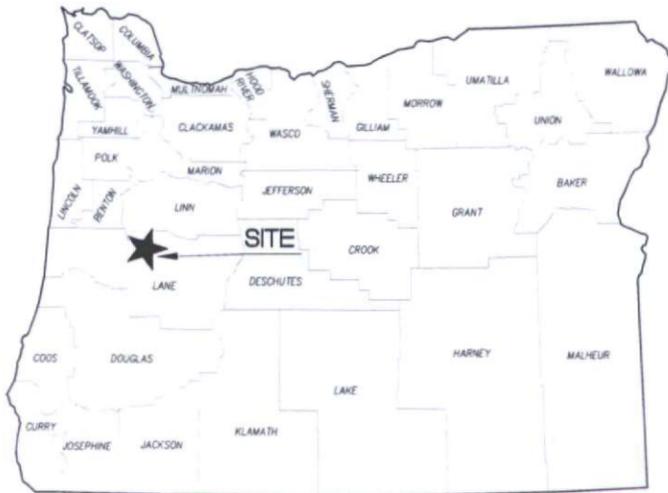
GENERAL NOTES AND SYMBOLS

Project Number:	Date:
Drafter:	Designer:
Project Manager:	Professional of Record:
Revision No:	Sheet No:
0	T-2

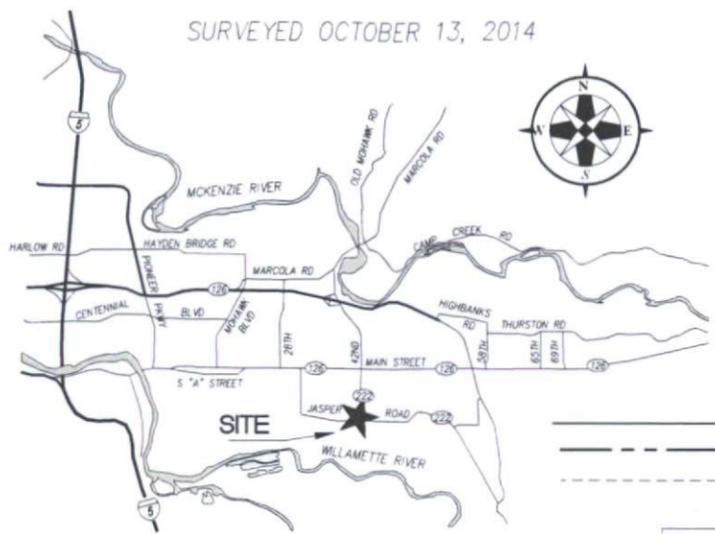
TOPOGRAPHIC SURVEY: EUG-CLEARWATER

IN NORTHWEST QUARTER OF SECTION 5
TOWNSHIP 18 SOUTH, RANGE 2 WEST OF THE WILLAMETTE MERIDIAN
SPRINGFIELD, OREGON

SURVEYED OCTOBER 13, 2014



LOCATION MAP
SCALE: NOT TO SCALE



VICINITY MAP
SCALE: NOT TO SCALE

NOTES

- THE BOUNDARY SHOWN ON THIS SURVEY IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING OF GRAPHIC DEFINITION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. PROPERTY LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED EXCEPT AS SHOWN ON THIS PLAN. NO PROPERTY MONUMENTS WERE SET.
- PROPERTY LINE SHOWN ON THIS SURVEY ARE BASED ON SURVEY CS-#1420, CS-40329, C.S. 34759 AND CS 33085 ON FILE IN THE LANE COUNTY SURVEYOR'S OFFICE.
- MCKAY CONSULTING LLC WAS PROVIDED A COPY OF TITLE REPORT FOR THE PROJECT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY OF OREGON DATED SEPTEMBER 3, 2014, TITLE NUMBER 4614032852-FTEUG29.
- FLOOD ZONE DATA - FEMA FLOOD INSURANCE RATE MAP NUMBER 41039C1162-F SHOWS THE SUBJECT PROPERTY IS IN AN UNSHADED ZONE "X", SO IT IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA).

UTILITY CAUTION

NO UNDERGROUND UTILITIES WERE LOCATED IN THE COURSE OF THIS SURVEY. CALL FOR UTILITY LOCATES BEFORE DIGGING.

BENCH MARK

THE DATUM FOR THIS SURVEY IS NAVD 88. AN ELEVATION WAS ESTABLISHED FOR CONTROL POINT #101 USING GPS METHODS AND GEOID12A.

STEEL SPIKE IN GROUND 28' NORTHWEST OF THE NORTHEAST PROPERTY CORNER (SEE SITE PLAN).

ELEV = 489.63

BASIS OF BEARING/LOCAL DATUM PLANE COORDINATES

THE BASIS OF BEARING FOR THIS SURVEY IS THE OREGON STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE (3602) WITH COORDINATES ESTABLISHED USING GPS AND THE OREGON DEPARTMENT OF TRANSPORTATION'S ORGN SERVICE.

LOCAL DATUM PLANE COORDINATES: AN AVERAGE COMBINED SCALE FACTOR OF 1.000014022 WAS USED TO CONVERT GRID COORDINATES TO GROUND COORDINATES SO CALCULATED GRID DISTANCES AND GROUND DISTANCE WOULD MATCH.

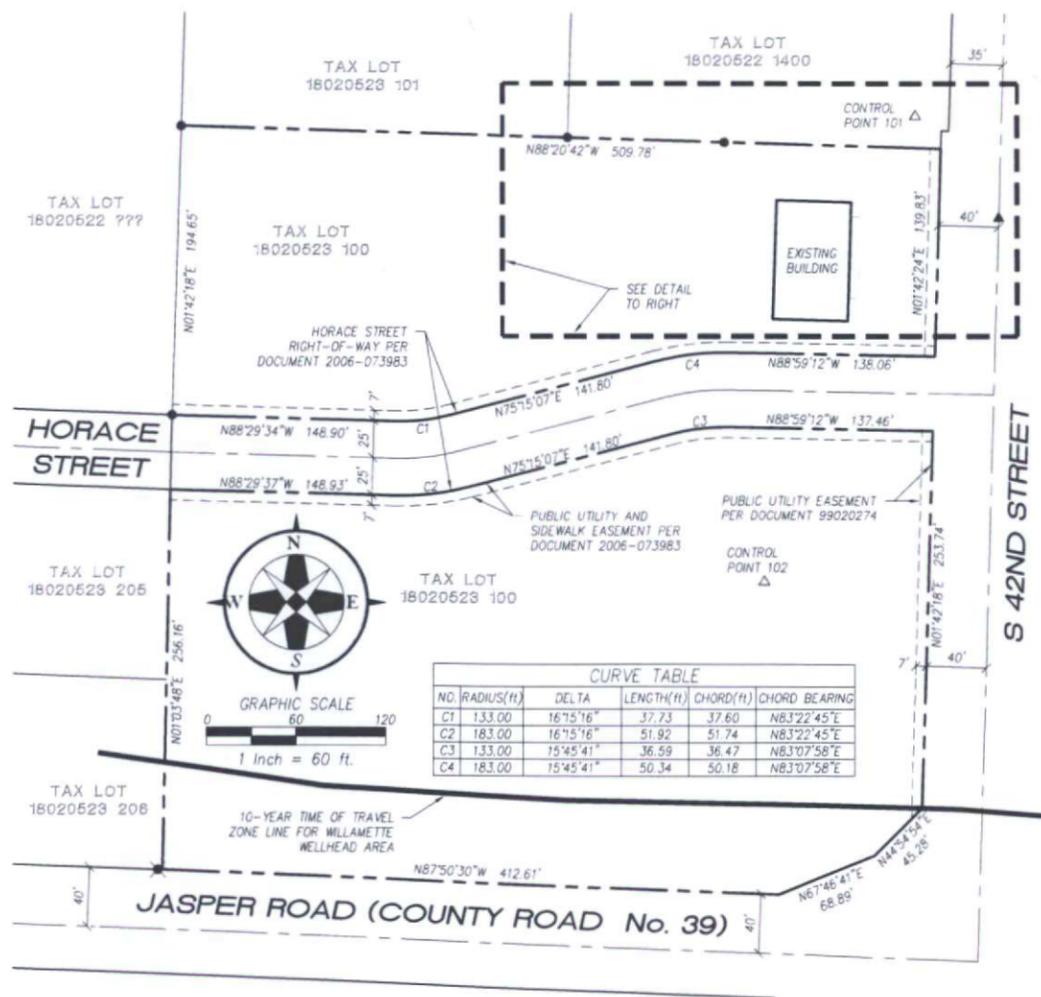
CONTROL POINT COORDINATES (LDP)

POINT 101	POINT 102
STEEL SPIKE IN GROUND	STEEL SPIKE IN GROUND
NORTHING: 873,177.91	NORTHING: 872,852.55
EASTING: 4,273,869.17	EASTING: 4,273,708.21
ELEVATION: 489.63	ELEVATION: 490.30

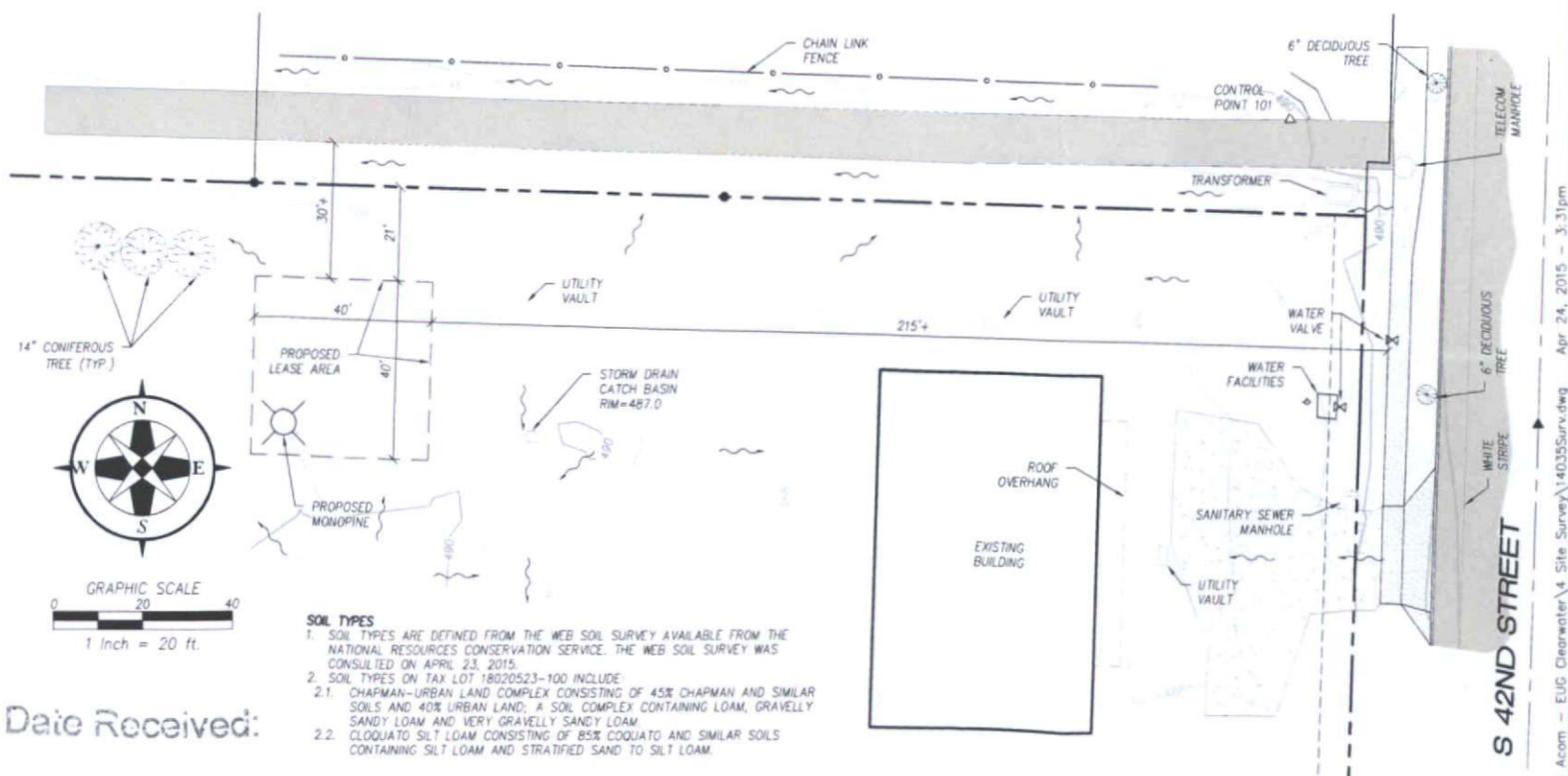
LEGAL DESCRIPTION OF PROPERTY

BEGINNING AT A POINT 27.58 CHAINS SOUTH OF THE NORTHEAST CORNER OF THE JOHN R. MAGNESS DONATION LAND CLAIM No. 50, TOWNSHIP 18 SOUTH RANGE 2 WEST OF THE WILLAMETTE MERIDIAN; THENCE SOUTH ALONG THE EAST SIDE OF SAID CLAIM, 246.41 FEET TO THE TRUE POINT OF BEGINNING OF THE DESCRIPTION; THENCE WEST 549.78 FEET; THENCE SOUTH 545.59 FEET TO THE MIDDLE OF THE COUNTY ROAD; THENCE EAST 549.78 FEET; THENCE NORTH 545.59 FEET TO THE TRUE POINT OF BEGINNING, ALL IN LANE COUNTY, OREGON.

EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE CITY OF SPRINGFIELD BY DEED RECORDED JULY 12, 2005 RECEPTION No. 2005-051442, AND RECORDED OCTOBER 12, 2006, AS RECEPTION No. 2006-073983M LANE COUNTY OFFICIAL RECORDS.



- ### LEGEND
- PROPERTY BOUNDARY
 - EASEMENT LINE
 - CONTOUR LINE
 - CONCRETE SIDEWALK
 - GRAVEL PAVEMENT
 - CONTROL POINT
 - YELLOW PLASTIC CAP
 - FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED "BRANCH ENGR. LS 2609"
 - FOUND 5/8" IRON ROD WITH RED PLASTIC CAP MARKED "LANE CO RW"
 - FOUND 2" IRON PIPE
 - FOUND MAG NAIL WITH WASHER MARKED "LANE CO PW"



Date Received:

MAY 01 2015

TOPOGRAPHIC SURVEY: EUG-CLEARWATER
for PROPOSED CELLULAR FACILITIES
4164 JASPER ROAD, SPRINGFIELD, OREGON 97478
TAX LOT 18020523-100

FOR: Acorn Consulting, Inc.
1125 SE CLATSOP STREET, PORTLAND, OREGON 97202

Mckay Consulting, LLC
(503) 828-8831
kaid01.am@gmail.com
Planning - Engineering - Surveying
17836 NW Deerfield Drive
Portland Oregon 97229

REGISTERED PROFESSIONAL LAND SURVEYOR
Kaid Edward McKay
OREGON NOVEMBER 10, 2009
Kaid Edward McKay 58859
EXPIRES: 12-31-2016

DESIGNED BY: Kaid E. McKay
DRAWN BY: Kaid E. McKay
CHECKED BY: Kaid E. McKay
DATE: 2014-10-15
REVISED ON:
JOB NAME: ACORN EUG CLEARWATER
JOB # 13035 SHEET 1 OF 1

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.



SIGNED: 04/27/15

No.	Date	Revision
A	10/20/14	90% PZD REVISION
B	12/11/14	100% PZD FINAL SET
0	04/27/15	ZONING SUBMITTAL
1		
2		

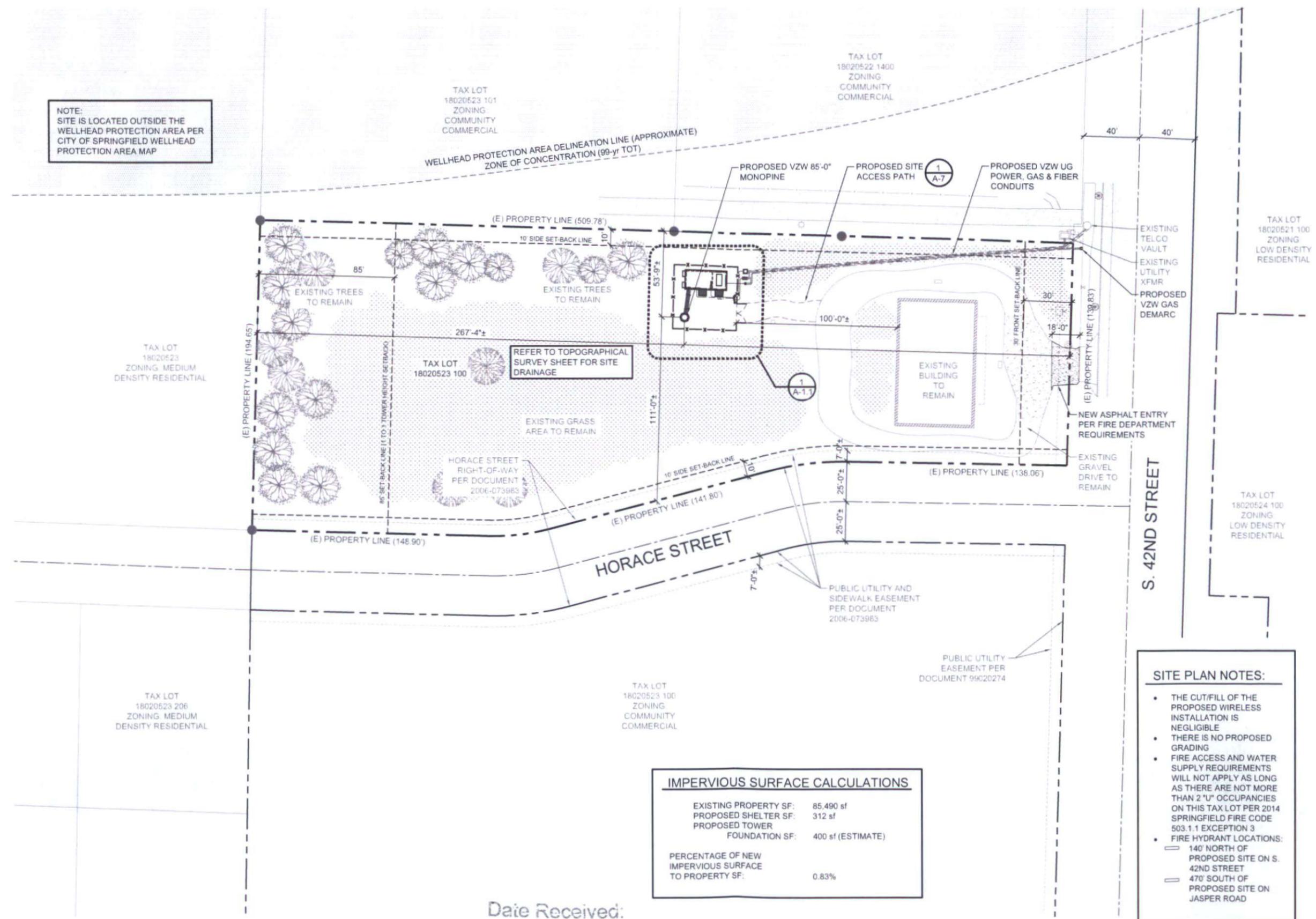


Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97476

Drawing Title:
PROPOSED SITE PLAN

Project Number:	Date:
Drafter:	Designer:
Project Manager:	Professional of Record:
Revision No.:	Sheet No.:
0	A-0

NOTE:
 SITE IS LOCATED OUTSIDE THE WELLHEAD PROTECTION AREA PER CITY OF SPRINGFIELD WELLHEAD PROTECTION AREA MAP



IMPERVIOUS SURFACE CALCULATIONS	
EXISTING PROPERTY SF:	85,490 sf
PROPOSED SHELTER SF:	312 sf
PROPOSED TOWER FOUNDATION SF:	400 sf (ESTIMATE)
PERCENTAGE OF NEW IMPERVIOUS SURFACE TO PROPERTY SF:	0.83%

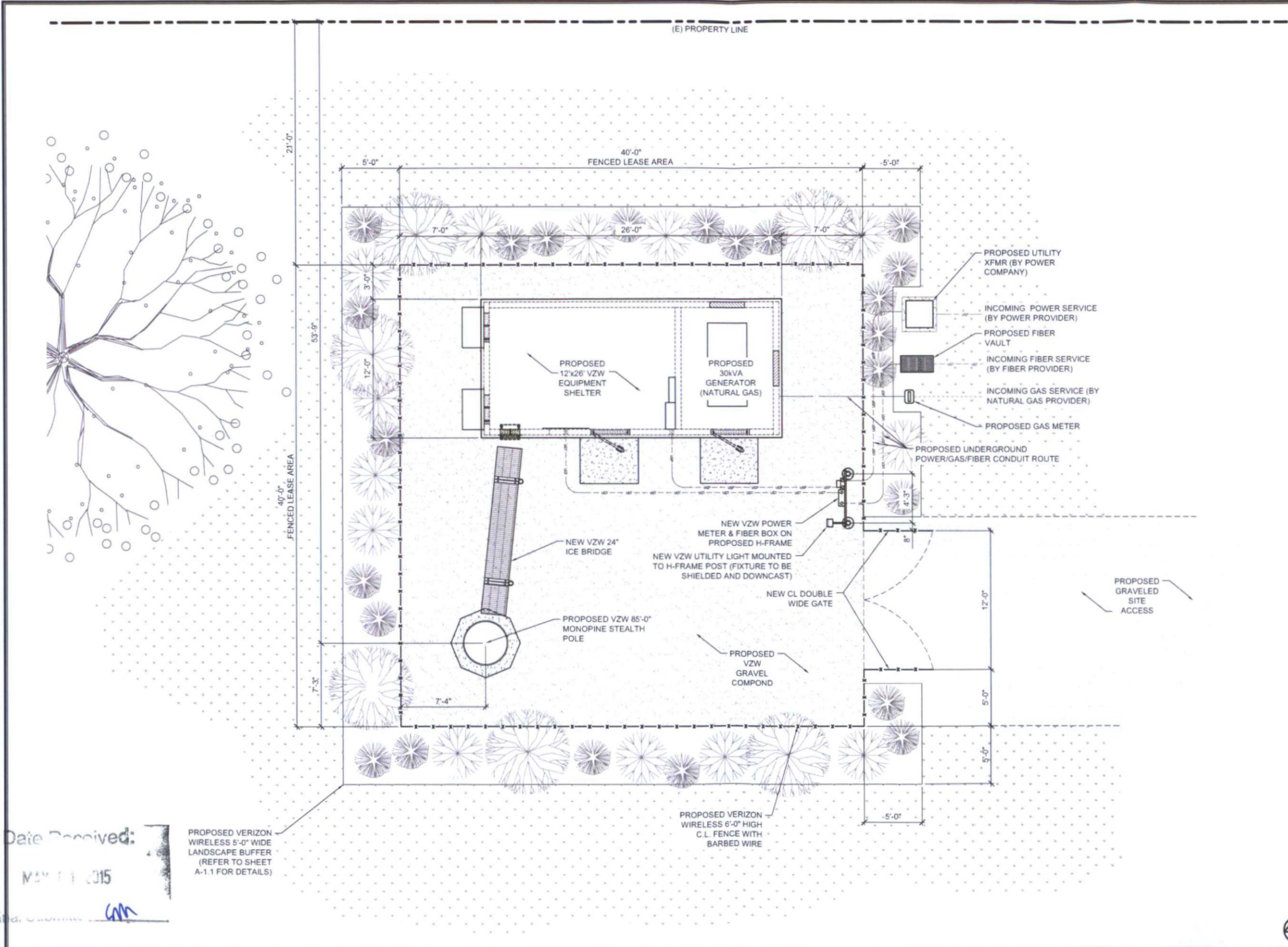
SITE PLAN NOTES:

- THE CUT/FILL OF THE PROPOSED WIRELESS INSTALLATION IS NEGLIGIBLE
- THERE IS NO PROPOSED GRADING
- FIRE ACCESS AND WATER SUPPLY REQUIREMENTS WILL NOT APPLY AS LONG AS THERE ARE NOT MORE THAN 2 "U" OCCUPANCIES ON THIS TAX LOT PER 2014 SPRINGFIELD FIRE CODE 503.1.1 EXCEPTION 3
- FIRE HYDRANT LOCATIONS:
 - 140' NORTH OF PROPOSED SITE ON S. 42ND STREET
 - 470' SOUTH OF PROPOSED SITE ON JASPER ROAD

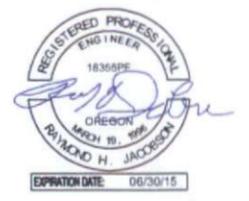
Date Received:
MAY 01 2015

22"x34" SCALE: 1" = 30'-0"
 11"x17" SCALE: 1" = 60'-0"

Original Submittal *SW*



DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.



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1		
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Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97478

Drawing Title:
PROPOSED COMPOUND PLAN

Project Number:	Date:
Drafter:	Designer:
Project Manager:	Professional of Record:
Revision No.:	Sheet No.:
0	A-1

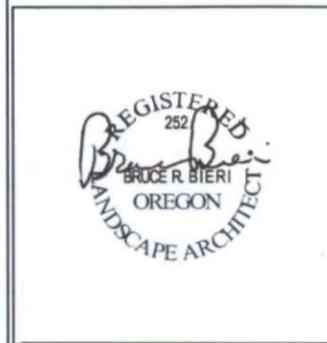
Date Received:
 MAY 11 2015
 Original: [Signature]

PROPOSED VERIZON WIRELESS 5'-0" WIDE LANDSCAPE BUFFER (REFER TO SHEET A-1.1 FOR DETAILS)

22"x34" SCALE: 3/8" = 1'-0"
 11"x17" SCALE: 3/16" = 1'-0"



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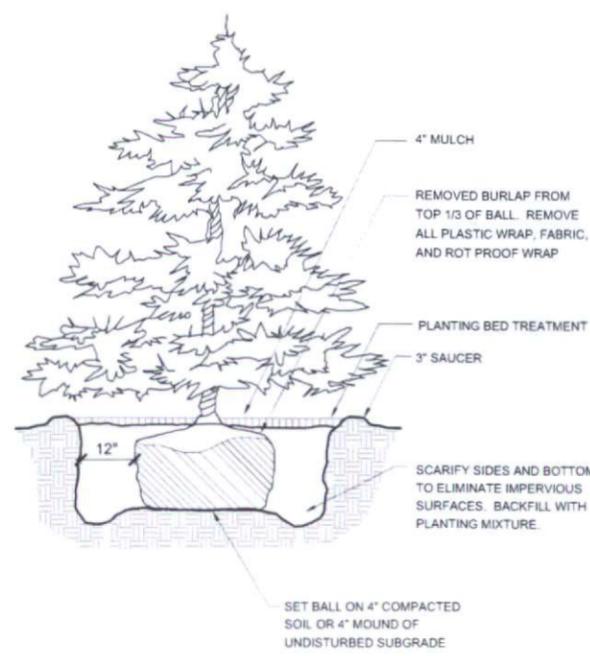
No.	Date	Revision
A	10/20/14	90% PZD REVISION
B	12/11/14	100% FZD FINAL SET
0	03/25/15	ZONING SUBMITTAL
1	04/07/15	90% PCD REVIEW SET
2	04/27/15	100% (BY MCKAY CONSULTING)



Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97478

Drawing Title:
PROPOSED COMPOUND LANDSCAPE PLAN

Project Number:	Date:
Drafter:	Designer:
Project Manager:	Professional of Record:
Revision No:	Sheet No:
1	A-1.1



- LANDSCAPE NOTES:**
- SEED, FERTILIZE, AND MULCH ALL DISTURBED AREA.
 - ALL PLANTS TO RECEIVE A SHREDDED HARDWOOD BARK MULCH.
 - PLANT MIXTURE SHALL BE: 5 POUNDS OF SUPERPHOSPHATE TO EACH CUBIC YARD OF TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, LOAMY SAND, SILT LOAM, SANDY CLAY LOAM, WITHOUT ADMIXTURE OF SUBSOIL.
 - ALL LANDSCAPE MATERIAL SHALL BE MAINTAINED IN A GROWING AND HEALTHY CONDITION WITH A REGULAR SCHEDULE OF MOWING, FEEDING, WATERING, AND PRUNING, AND REPLACEMENT OF ANY DEAD OR DISEASED MATERIAL AT LEAST EVERY SIX MONTHS.
 - PLANTING PIT WIDTH TO BE TOTAL MINIMUM OF 24" WIDER THAN THE EARTH BALL.
 - ALL NYLON AND ROT-PROOF ROPE AND ROT-PROOF BURLAP MUST BE REMOVED BEFORE PLANTING. ALL WIRE BASKETS MUST BE CUT (NOT LOOSENED OR REMOVED IN AT LEAST 10 PLACES BEFORE BACKFILLING. FOLD DOWN THE TOP 1/3 OF ALL NON-ROT-PROOF BURLAP.
 - MOVE AND HANDLE TREE AND TREE BALL WITH CARE. DO NOT MOVE OR LIFT THE TREE BY THE TRUNK.
 - TREES MUST BE PLANTED PLUMB.
 - WATER THOROUGHLY DURING BACKFILLING, REMOVING AIR POCKETS, THEN WATER AGAIN IMMEDIATELY AFTER PLANTING.
 - TREE SAUCER MUST BE LEVEL AND HOLD WATER. SAUCER RIM MUST BE 3" HIGH FROM THE CENTER AT A MINIMUM.

22"x34" SCALE: NOT TO SCALE
 11"x17" SCALE: NOT TO SCALE

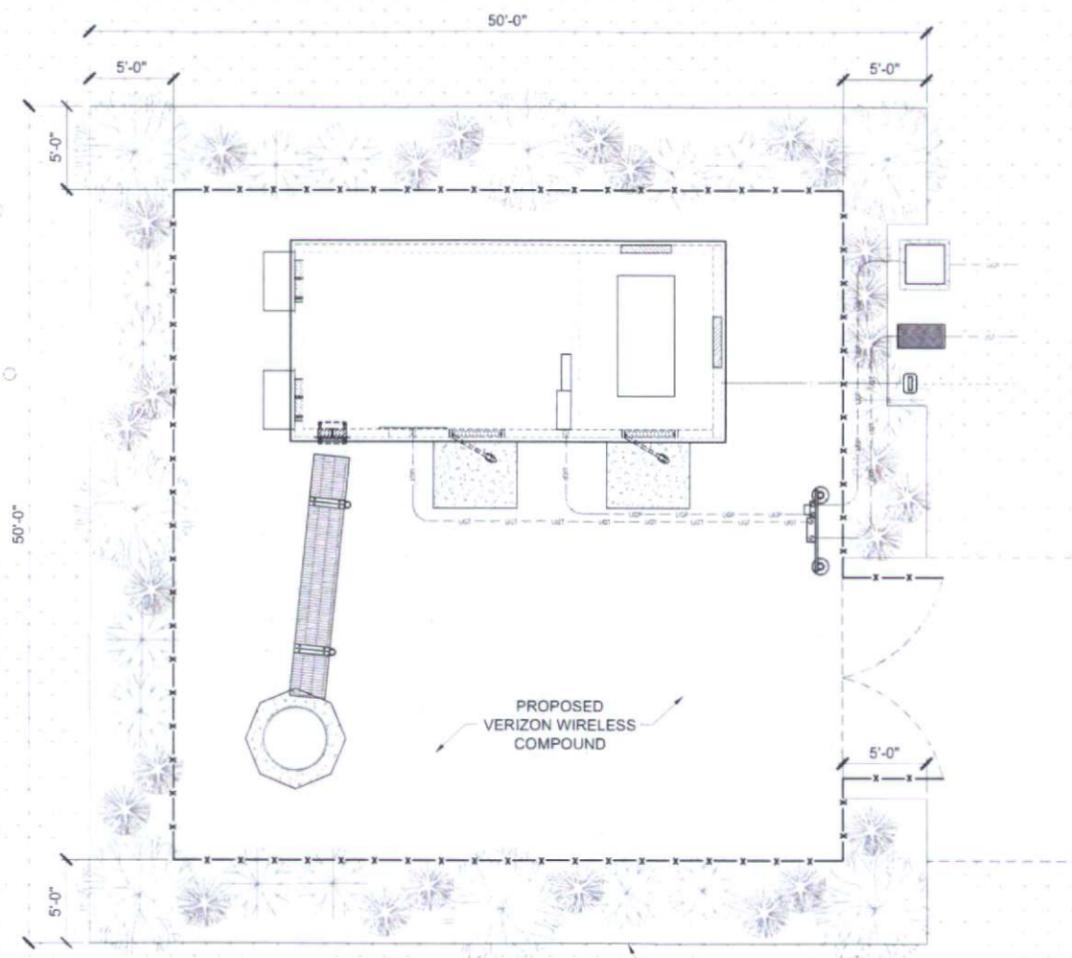
LANDSCAPE PLANTING DETAILS 2

PLANT LIST PER CITY OF SPRINGFIELD LANDSCAPE CODE (SECTION 4.4-100 LANDSCAPING, SCREENING AND FENCE STANDARDS)

	SYMBOL	NAME	SIZE	QUANTITY	REMARKS
TREES		CUPRESSOCYPARIS <i>leylandii</i> 'GOLCONDA' (GOLD LEYLAND CYPRESS)	2" CALIPER (6-8' HT)	7 (10' O.C.)	MUST BE FULLY BRANCHED & MATCHING (SEE NOTE BELOW)
SHRUBS		CEANOTHUS <i>thyrsiflorus</i> (BLUE BOSSOM)	5 GAL	13 (5' O.C.)	FULL AND MATCHING (SEE NOTE BELOW)
		MAHONIA <i>aquifolium</i> (OREGON GRAPE)	5 GAL	26 (5' O.C.)	FULL AND MATCHING (SEE NOTE BELOW)

NOTE:
 ALL LANDSCAPE MUST BE INSTALLED AND COMPLY WITH THE CITY OF SPRINGFIELD DEVELOPMENT STANDARDS SECTION 4.4-100, LANDSCAPING, SCREENING AND FENCE STANDARDS

McKay Consulting, LLC
 Planning - Engineering - Surveying
 17836 NW Deerfield Drive (971) 533-4359
 Portland Oregon 97229 kaid01.km@gmail.com



TOTAL LANDSCAPE AREA: 2500 SQ. FT.

PLANT MATERIAL NOTE:
 ALL PROPOSED PLANT MATERIAL ARE DROUGHT TOLERANT AND WILL NOT NEED IRRIGATION AFTER ESTABLISHMENT.

Date Received: **MAY 01 2015**
 Original Submittal *gm*

22"x34" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"



PROPOSED COMPOUND LANDSCAPE PLAN



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SIGNED: 04/27/15

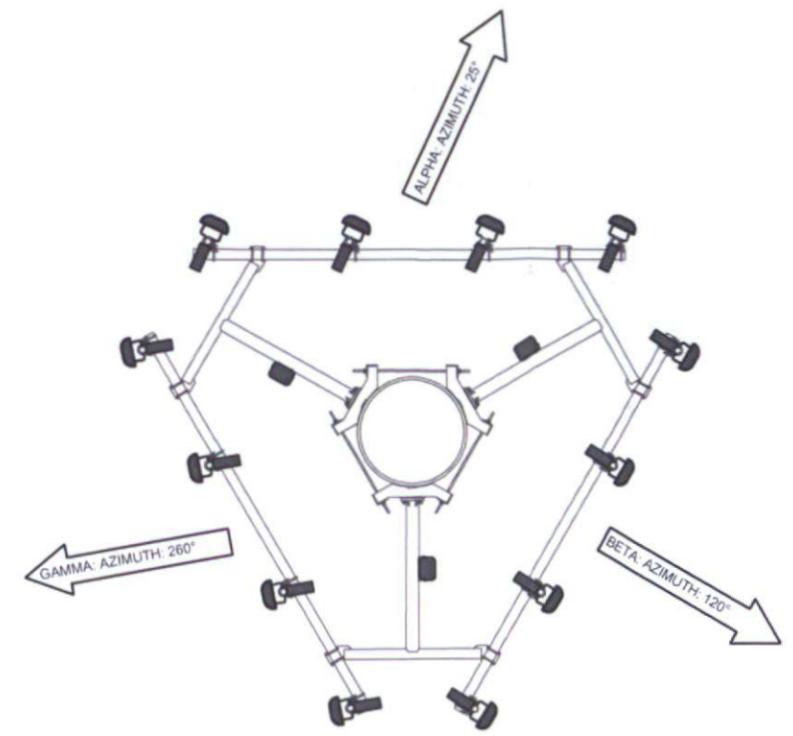
No.	Date	Revision
A	10/20/14	90% PZD REVISION
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0	04/27/15	ZONING SUBMITTAL
1		
2		



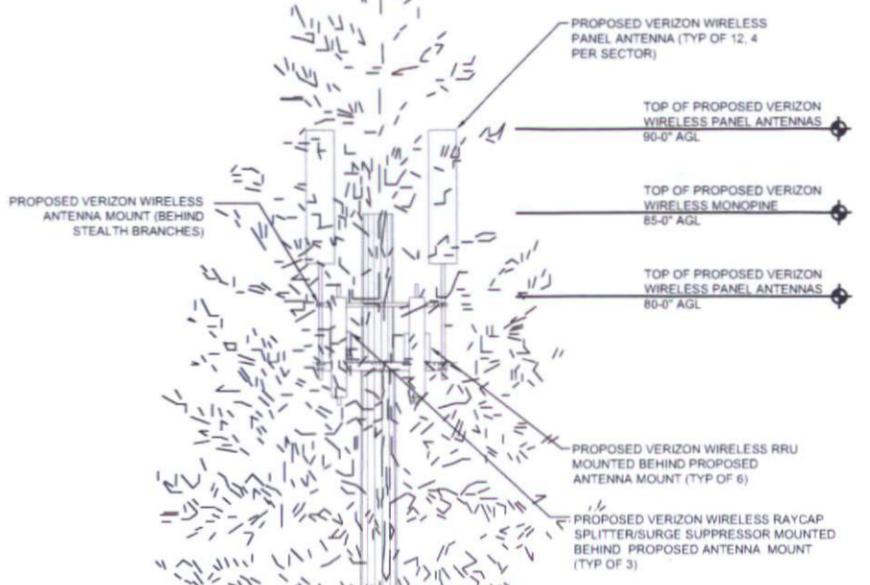
Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97478

Drawing Title:
PROPOSED ELEVATION

Project Number:	Date:
RM	04/27/15
Drafter:	Designer:
AM	RM
Project Manager:	Professional of Record:
AM	RJ
Revision No.:	Sheet No.:
0	A-2



PROPOSED ANTENNA PLAN



PROPOSED VERIZON WIRELESS ANTENNA MOUNT (BEHIND STEALTH BRANCHES)

PROPOSED VERIZON WIRELESS PANEL ANTENNA (TYP OF 12, 4 PER SECTOR)

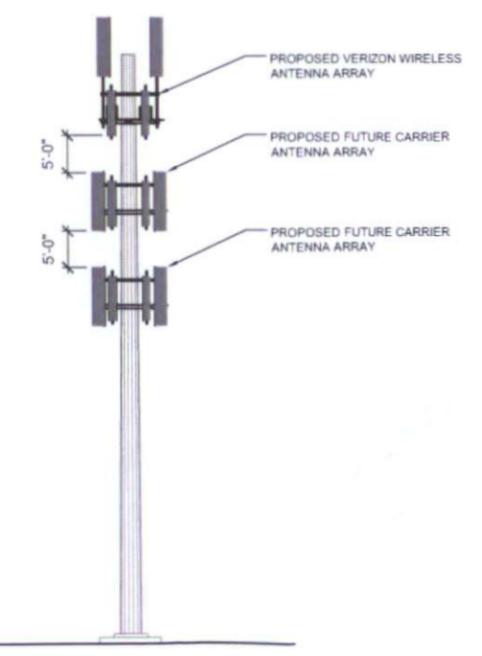
TOP OF PROPOSED VERIZON WIRELESS PANEL ANTENNAS 90'-0" AGL

TOP OF PROPOSED VERIZON WIRELESS MONOPINE 85'-0" AGL

TOP OF PROPOSED VERIZON WIRELESS PANEL ANTENNAS 80'-0" AGL

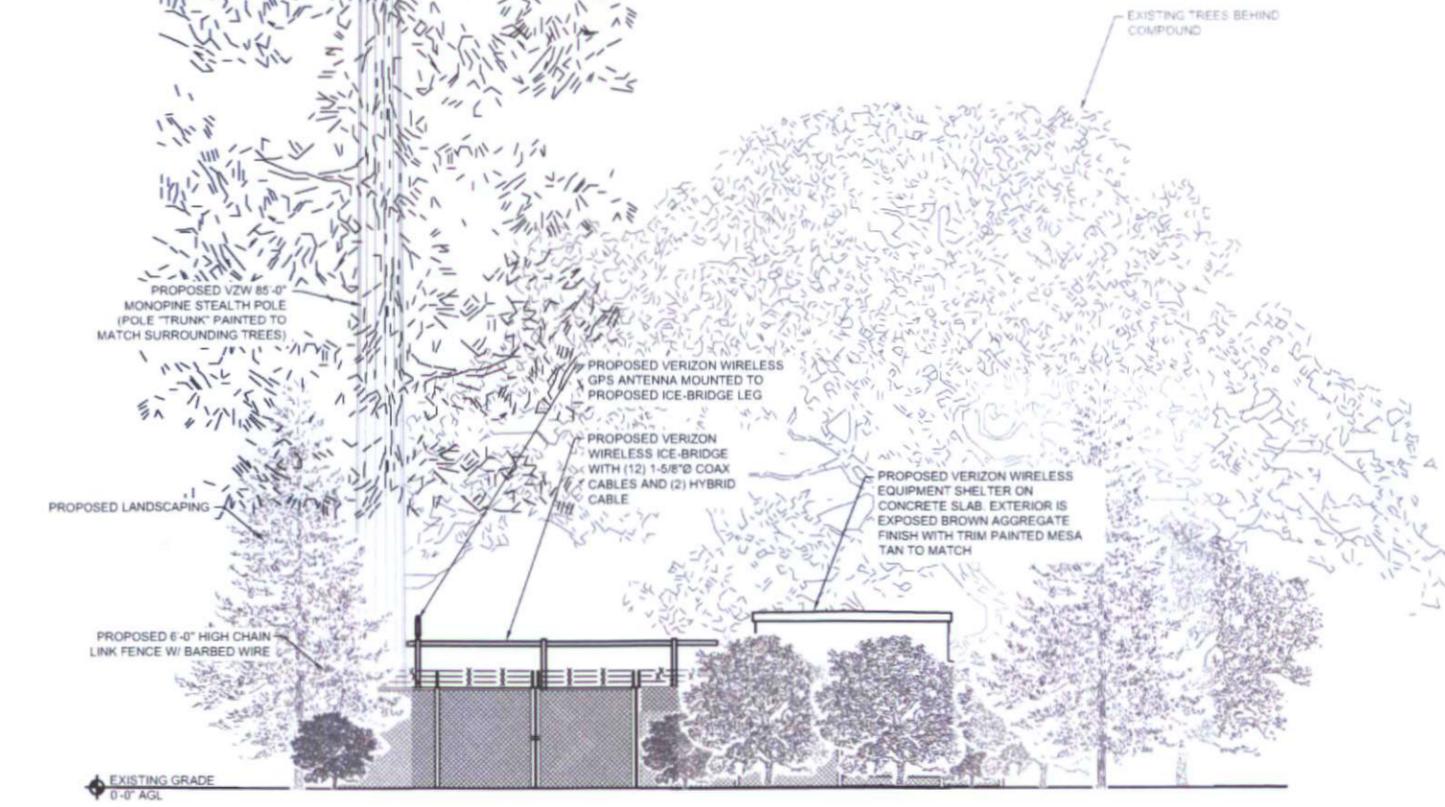
PROPOSED VERIZON WIRELESS RRU MOUNTED BEHIND PROPOSED ANTENNA MOUNT (TYP OF 6)

PROPOSED VERIZON WIRELESS RAYCAP SPLITTER/SURGE SUPPRESSOR MOUNTED BEHIND PROPOSED ANTENNA MOUNT (TYP OF 3)



PROPOSED TOWER LOAD ELEVATION

Date Received: MAY 01 2015



EXISTING TREES BEHIND COMPOUND

PROPOSED VZW 85'-0" MONOPINE STEALTH POLE (POLE "TRUNK" PAINTED TO MATCH SURROUNDING TREES)

PROPOSED VERIZON WIRELESS GPS ANTENNA MOUNTED TO PROPOSED ICE-BRIDGE LEG

PROPOSED VERIZON WIRELESS ICE-BRIDGE WITH (12) 1-5/8" Ø COAX CABLES AND (2) HYBRID CABLE

PROPOSED VERIZON WIRELESS EQUIPMENT SHELTER ON CONCRETE SLAB. EXTERIOR IS EXPOSED BROWN AGGREGATE FINISH WITH TRIM PAINTED MESA TAN TO MATCH

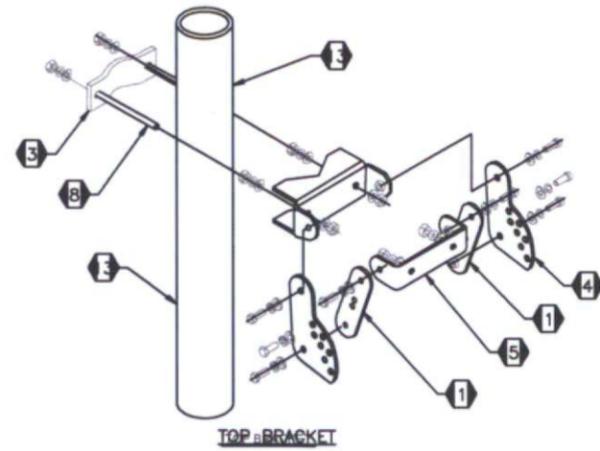
PROPOSED LANDSCAPING

PROPOSED 6'-0" HIGH CHAIN LINK FENCE W/ BARBED WIRE

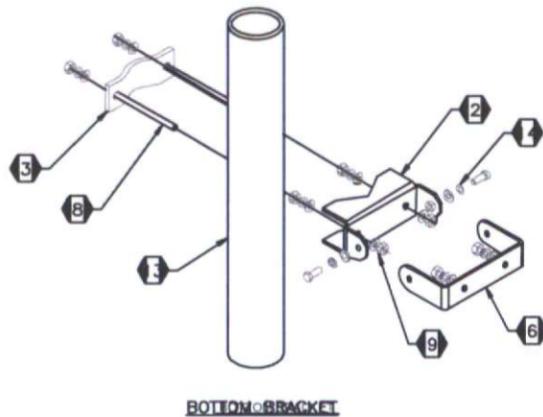
EXISTING GRADE 0'-0" AGL

22"x34" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"

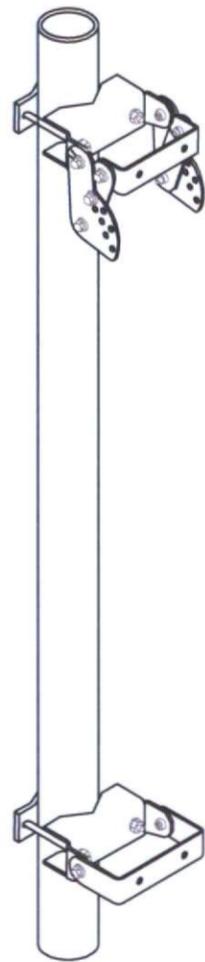




TOP BRACKET



BOTTOM BRACKET



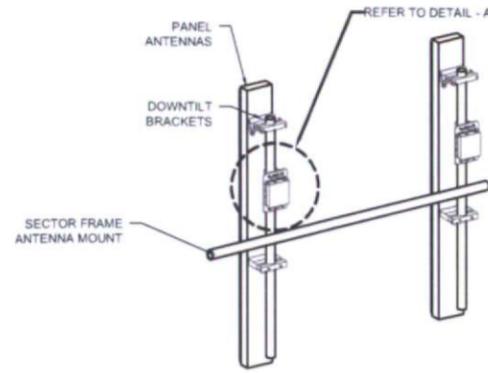
PARTS

ITEM	DESCRIPTION
1	LINKAGE ARM, INNER
2	BRACKET, ANTI-ROT, TOP
3	STRAP, POLE MOUNT
4	LINKAGE, 6 MECH DEG, OUTER
5	BRACKET TOP MOUNT, CELLULAR PANEL
6	BRACKET BOTTOM MOUNT, CELLULAR PANEL
7	BRACKET, SLIDER, 6 DEG TILT
8	BOLT HEX, HD
9	NUT, PLAIN HEX
10	BOLT, HEX HD
11	FLAT WASHER
12	SPLIT WASHER
13	PIPE

Received:
MAY 01 2015

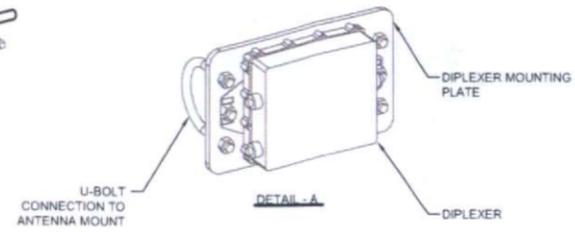
22"x34" SCALE: NOT TO SCALE
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MECHANICAL TILT MOUNTING DETAIL 2



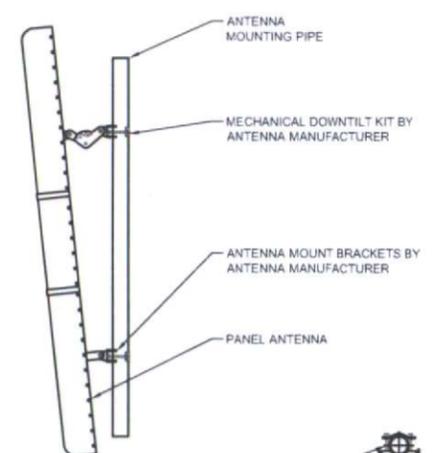
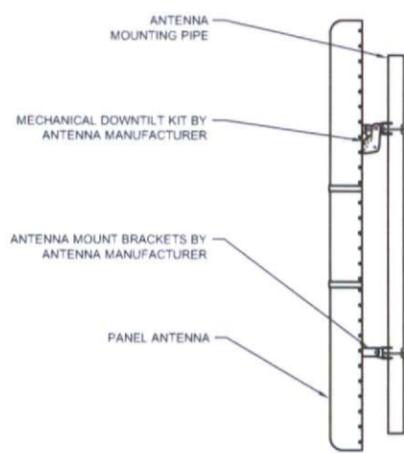
DIPLEXER NOTE:
1. (6) NEW DIPLEXERS MOUNTED AT ANTENNAS (DIPLEXER #CCDP 565-1W)
2. CONTRACTOR TO VERIFY WITH MANUFACTURER SPECS FOR MOUNTING DETAILS

DIPLEXER DETAIL IS SHOWN AS A REFERENCE AND IS SUBJECT TO CHANGE

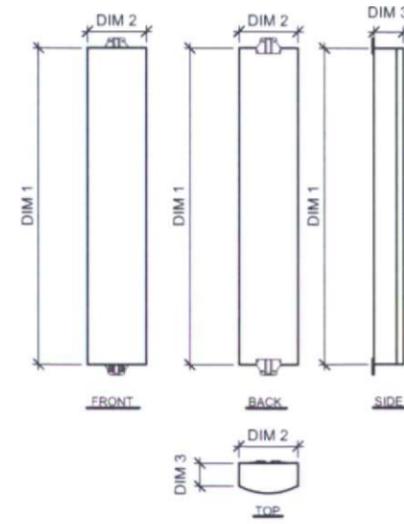
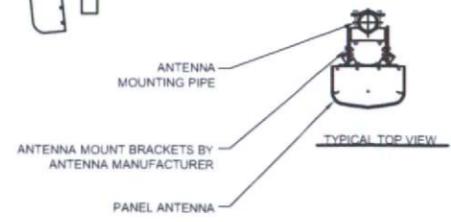


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DIPLEXER DETAIL 3



NOTE:
INSTALL PER MANUFACTURER INSTRUCTIONS



	QTY	DIM 1	DIM 2	DIM 3
SECTOR ALPHA				
ANTENNA 1	1	94.9"	20.7"	7.4"
ANTENNA 2	1	72.0"	12.5"	7.1"
ANTENNA 3	1	72.0"	12.5"	7.1"
ANTENNA 4	1	94.9"	20.7"	7.4"
SECTOR BETA				
ANTENNA 1	1	96.0"	14.6"	8.2"
ANTENNA 2	1	72.0"	12.5"	7.1"
ANTENNA 3	1	72.0"	12.5"	7.1"
ANTENNA 4	1	96.0"	14.6"	8.2"
SECTOR GAMMA				
ANTENNA 1	1	94.9"	20.7"	7.4"
ANTENNA 2	1	72.0"	12.5"	7.1"
ANTENNA 3	1	72.0"	12.5"	7.1"
ANTENNA 4	1	94.9"	20.7"	7.4"

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11"x17" SCALE: NOT TO SCALE

ANTENNA MOUNTING DETAIL 1

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B	12/11/14	100% FZD FINAL SET
0	04/27/15	ZONING SUBMITTAL
1		
2		



Project Info:
EUG CLEARWATER
4164 JASPER RD
SPRINGFIELD, OR 97478

Drawing Title:
CONSTRUCTION DETAILS

Project Number:	Date:
0	04/27/15
Drafter:	Designer:
RM	RM
Project Manager:	Professional of Record:
AM	RJ
Revision No:	Sheet No:
0	A-3

Original Submittal

gm

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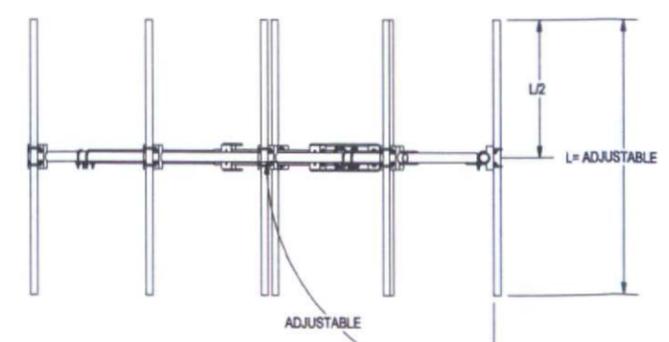
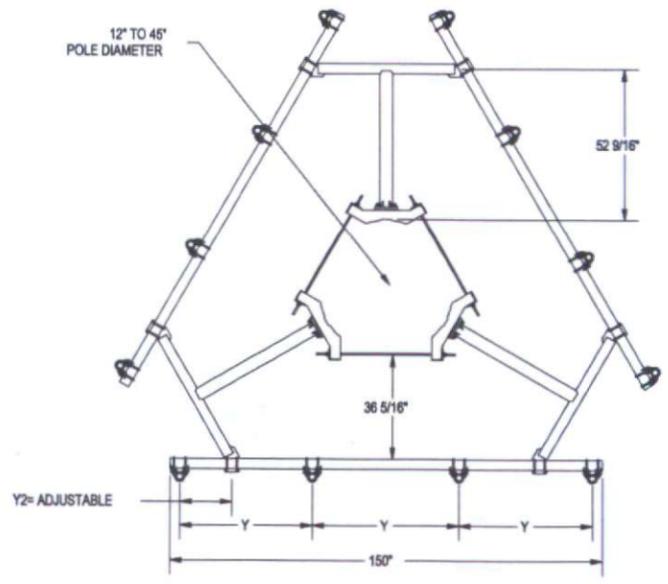
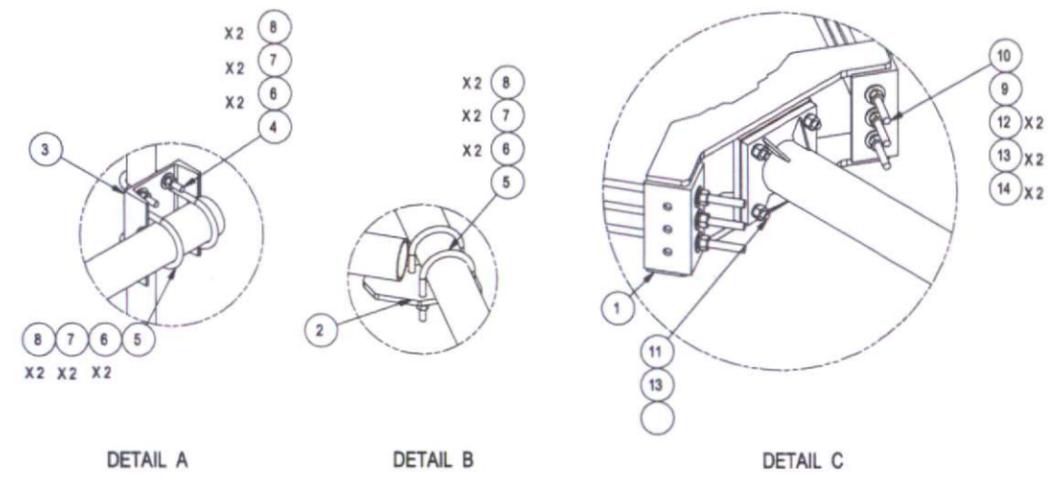
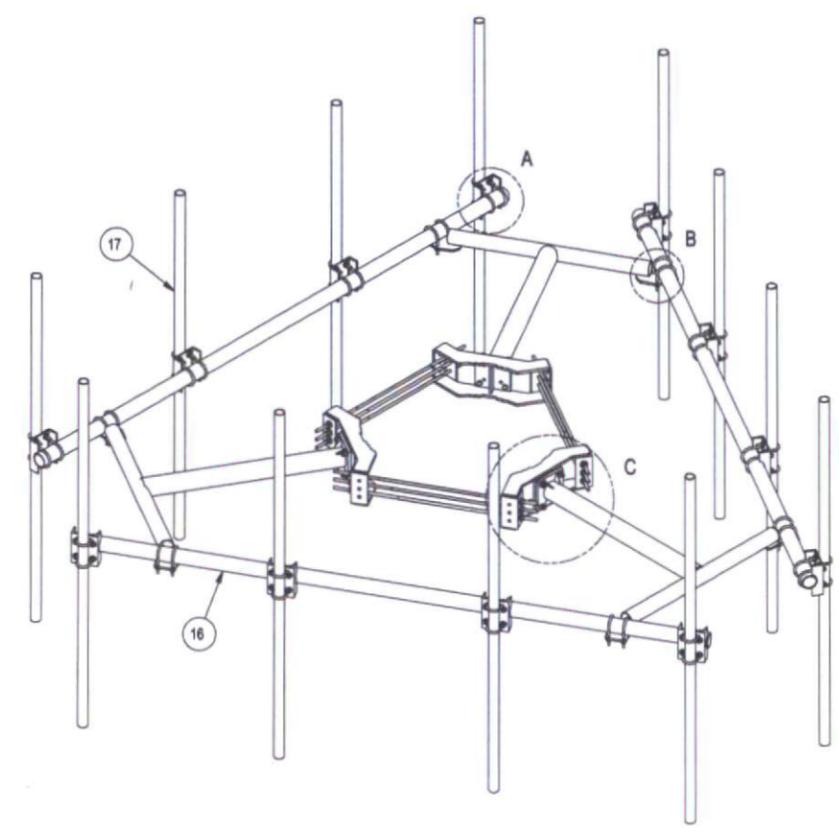
Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97478

Drawing Title:
ANTENNA MOUNT DETAILS

Project Number:	Date:
Drafter:	Designer:
Project Manager:	Professional of Record:
Revision No:	Sheet No:

0 A-3.1

PARTS LIST						
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	3	X-LWRM	RING MOUNT WELDMENT		68.16	204.48
2	3	X-ULP	SUPPORT ARM WELDMENT - 36"		103.07	309.20
3	12	X-SP219	SMALL SUPPORT CROSS PLATE	8.250 in	8.61	103.33
4	24	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG.)		0.63	15.00
5	36	X-UB1306	1/2" X 3-5/8" X 6" X 3" U-BOLT (HDG.)		0.66	23.63
6	120	G12FW	1/2" HDG USS FLATWASHER		0.03	4.08
7	120	G12LW	1/2" HDG LOCKWASHER		0.01	1.67
8	120	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07	8.58
9	9	G58R-24	5/8" X 24" GALV THREADED ROD		2.09	18.82
10	9	G58R-48	5/8" X 48" GALV THREADED ROD		4.39	39.52
11	12	A58234	5/8" x 2-3/4" HDG A325 HEX BOLT	2.75	0.36	4.27
12	18	G58FW	5/8" HDG USS FLATWASHER		0.07	1.27
13	30	G58LW	5/8" HDG LOCKWASHER		0.03	0.78
14	30	G58NUT	5/8" HDG HEAVY 2H HEX NUT		0.13	3.89
16	3	P3150	3-1/2" X 150" SCH 40 GALVANIZED PIPE	150.00 in	94.80	284.40
17	12	A	B	C	D	



Date Received:
 MAY 01 2015

ANTENNA PIPES					
ASSEMBLY NO.	PART NO. *A*	PART DESCRIPTION *B*	LENGTH *C*	UNIT WT. *D*	TOTAL WT.
ULP12-NP	NP	N/A	N/A	N/A	827.96
ULP12-472	P272	2-3/8" O.D. SCH. 40 PIPE	72"	23.07	1,311.05
ULP12-484	P284	2-3/8" O.D. SCH. 40 PIPE	84"	26.91	1,357.13
ULP12-496	P296	2-3/8" O.D. SCH. 40 PIPE	96"	30.76	1,403.33

22"x34" SCALE: NOT TO SCALE
 11"x17" SCALE: NOT TO SCALE

CONCRETE:

- ALL CONCRETE WORK SHALL CONFORM TO ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND TO THE PROJECT SPECIFICATIONS.
- UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN U.O.N.
- PREPARE AND SUBMIT MIX DESIGNS FOR EACH TYPE AND STRENGTH OF CONCRETE IN ACCORDANCE WITH ACI 211, "PROPORTIONING CONCRETE MIXTURES", AND ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE."
- READY-MIX CONCRETE SUPPLIERS TO BE NRMCA-CERTIFIED.
- ALL CONCRETE IS TO BE NORMAL DENSITY CONCRETE WITH A MAXIMUM SLUMP OF 4 INCHES. MAXIMUM AGGREGATE SIZE 3/4 INCH.
- NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
- DO NOT USE CHLORIDE-CONTAINING ADMIXTURES.
- HOT WEATHER CONCRETE: COMPLY WITH ACI 305R.
- REINFORCING OF ALL CONCRETE MEMBERS SHALL HAVE THE FOLLOWING CLEAR CONCRETE COVER:

	COVER, INCHES
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3
CONCRETE EXPOSED TO EARTH OR WEATHER:	
#8 THROUGH #18 BARS	2
#5 BAR OR SMALLER	1 1/2
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS AND WALLS	
#14 AND #18 BARS	1 1/2
#11 BAR AND SMALLER	1
COLUMNS	
PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS	1 1/2
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM BEARING LENGTH OF 4 INCHES FOR ALL REINFORCED CONCRETE SLABS.
- PROVIDE CHAMFERS, REVEALS, REGLETS, RECESSES AND THE LIKE AS SHOWN ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS.
- NO HOLES OR SLEEVES SHALL BE MADE THROUGH CONCRETE WORK OTHER THAN THOSE INDICATED ON THE STRUCTURAL DRAWINGS WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER.
- PROVIDE CAST-IN-PLACE CONCRETE FOR MECHANICAL AND ELECTRICAL DIVISIONS INCLUDING BUT NOT LIMITED TO: EQUIPMENT BASES, HOUSEKEEPING PADS, CURBS, PITS, UNDERGROUND DUCTBANKS.
- ALL FORMWORK OFFSET TOLERANCES (PER ACI 117) TO BE CLASS A.
- FLOOR SLAB TOLERANCE TO ASTM E1155: SPECIFIED OVERALL MINIMUM VALUE OF FLATNESS $F_p=25$ WITH LOCAL MINIMUM $F_p=17$, AND MINIMUM VALUE OF LEVELNESS $F_L=20$ WITH LOCAL MINIMUM $F_L=15$. MEASURE F_L AND F_p WITHIN 72 HOURS OF SLAB CONSTRUCTION.
- ALL EXPOSED EXTERNAL CORNERS OF CONCRETE TO BE TOOLED EDGE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES.
- CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES. CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL ELECTRICAL OPENINGS AND EQUIPMENT PADS WITH THE ELECTRICAL OPENINGS AND EQUIPMENT DETAIL AND SHOP DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION FOR ALL UTILITIES.

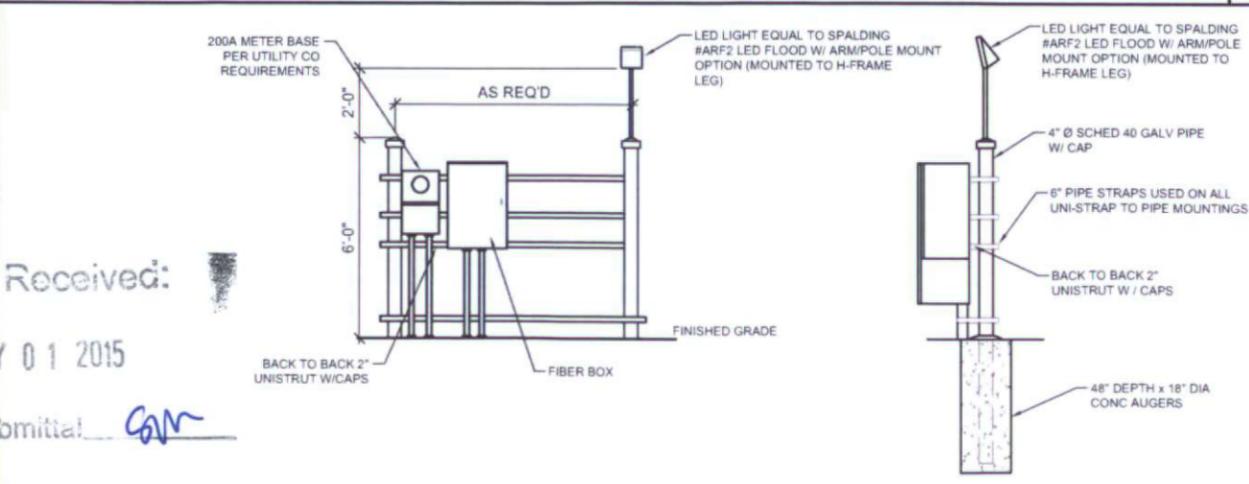
REINFORCING STEEL:

- REINFORCING BARS: ASTM A625, GRADE 60, DEFORMED BARS.
 - WELDED WIRE MESH: TO ASTM A185. PROVIDE IN FLAT SHEETS ONLY. VERTICAL PLACEMENT TOLERANCE TO BE 3/8 INCH.
 - REINFORCING STEEL TO BE DETAILED, FABRICATED, BENT AND PLACED IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE AND ACI 318.
 - SUBMIT SHOP DRAWINGS FOR FABRICATION, BENDING AND PLACEMENT OF ALL CONCRETE AND MASONRY REINFORCING STEEL SHOW ALL WALLS AND BEAMS IN FULL ELEVATION.
 - THE CONTRACTOR SHALL FABRICATE ALL REINFORCEMENT AND FURNISH ALL ACCESSORIES, BOLSTERS, CHAIRS, SPACER BARS AND SUPPORTS NECESSARY TO SECURE THE REINFORCEMENT UNLESS INDICATED OTHERWISE.
 - WHERE INDICATED, REINFORCING BARS SHALL BE WELDED IN ACCORDANCE WITH AWS D1.4 "STRUCTURAL WELDING CODE - REINFORCING STEEL".
 - IN REINFORCED MASONRY WALLS, COLUMNS AND BEAMS, REINFORCING SHALL BE HELD IN PLACE WITH "DUR-O-WALL" REBAR POSITIONERS, OR APPROVED EQUAL, PRIOR TO GROUTING.
 - IN SLABS WHERE REINFORCING IS SHOWN IN ONE DIRECTION ONLY, PROVIDE INDICATED TEMPERATURE REINFORCEMENT AT 90 DEGREES TO PRINCIPAL REINFORCEMENT.

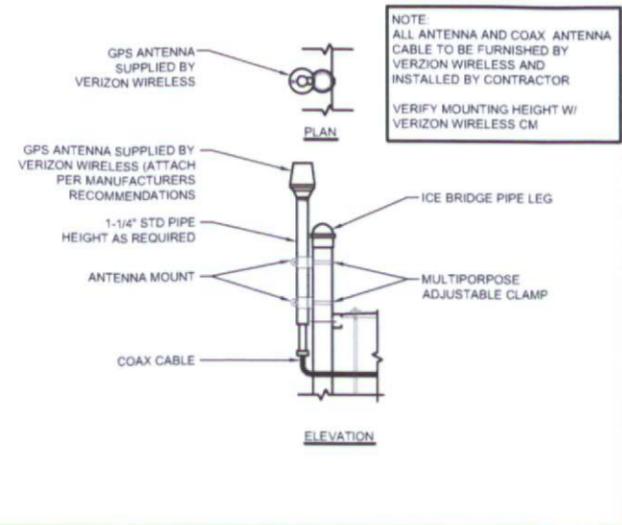
LAP SPLICES:

 - SUBMIT PROPOSED LOCATIONS OF LAP SPLICES FOR APPROVAL.
 - CONCRETE: PROVIDE CLASS B TENSION LAP SPLICES U.N.O.
 - MASONRY: LAP SPLICE BARS A MINIMUM OF 40 BAR DIAMETERS U.N.O.
 - WELDED WIRE MESH - MINIMUM LAP 8 INCHES, MEASURED BETWEEN OUTERMOST CROSS-WIRES OF EACH SHEET.
 - ENSURE THAT A MINIMUM OF 2 - #5 BARS ARE PROVIDED CONTINUOUSLY AT ALL SLAB EDGES BY ADJUSTING BAR LENGTHS OR PROVIDING ADDITIONAL TOP/BOTTOM EDGE BARS AS REQUIRED.
 - PROVIDE 1 - #5 NOSING BAR FOR ALL SILLS, LEDGES, CURBS, PADS AND STEPS UNLESS OTHERWISE INDICATED.
- FOUNDATIONS:**
- SHELTER: ALLOWABLE BEARING PRESSURE USED IN DESIGN 2000 PSF.
 - ABOVE PARAMETERS ARE ASSUMED. ALL FOUNDATION CRITERIA SHALL BE VERIFIED BY SOIL ENGINEER IN WRITING TO ACOM CONSULTING PRIOR TO FABRICATION AND CONSTRUCTION.
- DESIGN DATA: 2012 IBC WITH LOCAL AMENDMENTS
 WIND SPEED: 80 MPH
 (3 SEC. GUST)
 EXPOSURE: B
 IMPORTANCE FACTOR= 1.00

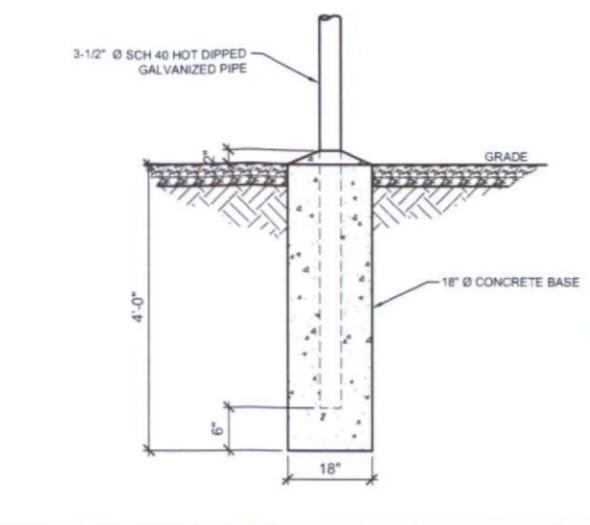
CONCRETE AND REINFORCING NOTES 3



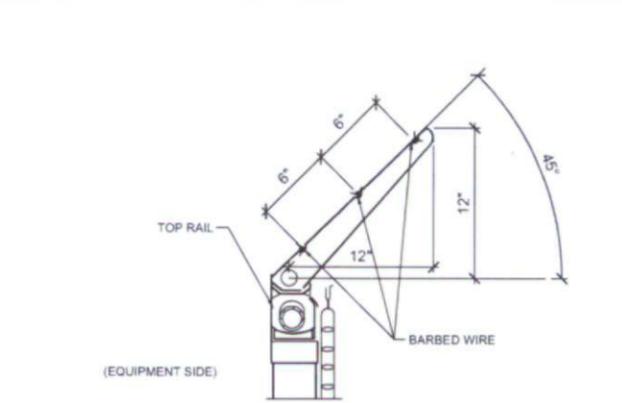
H-FRAME DETAIL 2



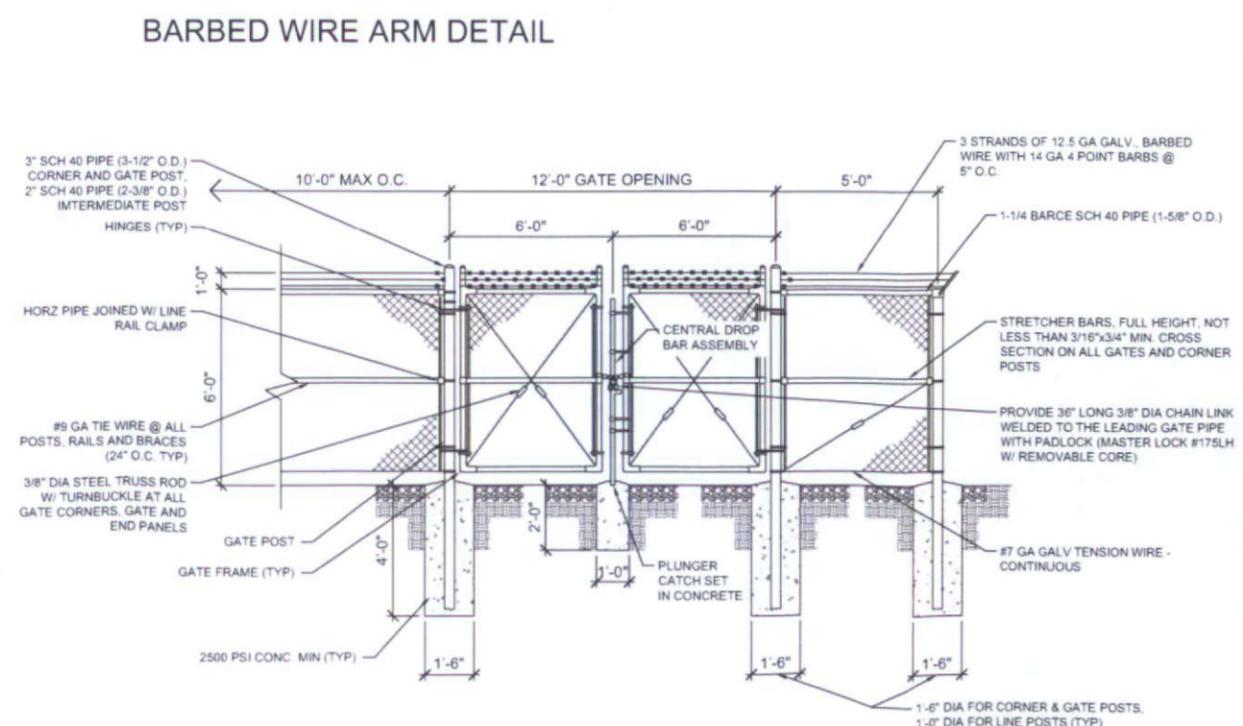
GPS ANTENNA 5



CONCRETE DETAIL 4



BARBED WIRE ARM DETAIL



FENCE DETAILS 1

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.

REGISTERED PROFESSIONAL ENGINEER
 18355PE
 OREGON
 MARCH 19, 1998
 RAYMOND H. JACOBSON
 EXPIRATION DATE: 06/30/15
 SIGNED: 04/27/15

No.	Date	Revision
A	10/20/14	90% PZD REVISION
B	12/11/14	100% PZD FINAL SET
D	04/27/15	ZONING SUBMITTAL
1		
2		

Client:

Implementation Team:

A&E Team:

Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97478

Drawing Title:
CONSTRUCTION DETAILS

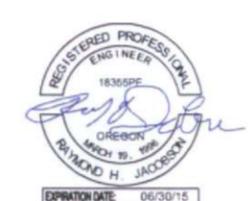
Project Number:	Date:
0	04/27/15
Drafter:	Designer:
RM	RM
Project Manager:	Professional of Record:
AM	RJ
Revision No:	Sheet No:
0	A-4

Date Received:
 MAY 01 2015
 Original Submittal: *car*

ICE BRIDGE NOTES

1. POSITION BRIDGE ASSEMBLY SO THAT WAVEGUIDE ENTER SHELTER AT WAVEGUIDE PORT CENTERLINE. HEIGHT ABOVE GROUND MAY VARY ACCORDING TO SHELTER AND SITE LAYOUT.
2. COAX SHALL BE SLOPED 1/8" TO THE FOOT, AWAY FROM SHELTER.
3. FOR SOIL, USE 12" DIAM. 3'-6" DEEP PIER FILLED WITH 3000 PSI CONCRETE. INSTALL TOP OF PIER FLUSH WITH PROPOSED GRADE, AND PROVIDE CROWN FOR DRAINAGE.
4. FOR EXPOSED LEDGE, PROVIDE GROUT LEVELING PAD. INSTALL (2) 5/8" EXPANSION ANCHORS, 6" LONG.
5. FOR CONCRETE, FASTEN BASEPLATE W/ (2) 5/8" EXPANSION ANCHORS, 6" LONG.
6. FOR BURIED LEDGE AT LESS THAN 3'-6" BELOW FINISH GRADE, CORE 8" DIAM. HOLE INTO LEDGE 18" DEEP. FILL AROUND PIPE WITH NON-SHRINK GROUT. USE COAL TAR ON BURIED LENGTH OF PIPE, AND BACKFILL TO FINISH GRADE.
7. FOR POSTS ON CONCRETE OR EXPOSED LEDGE, PROVIDE 4" x 8" x 3/8" BASEPLATE WITH (2) 11/16" HOLES 6" O.C.

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SIGNED: 04/27/15

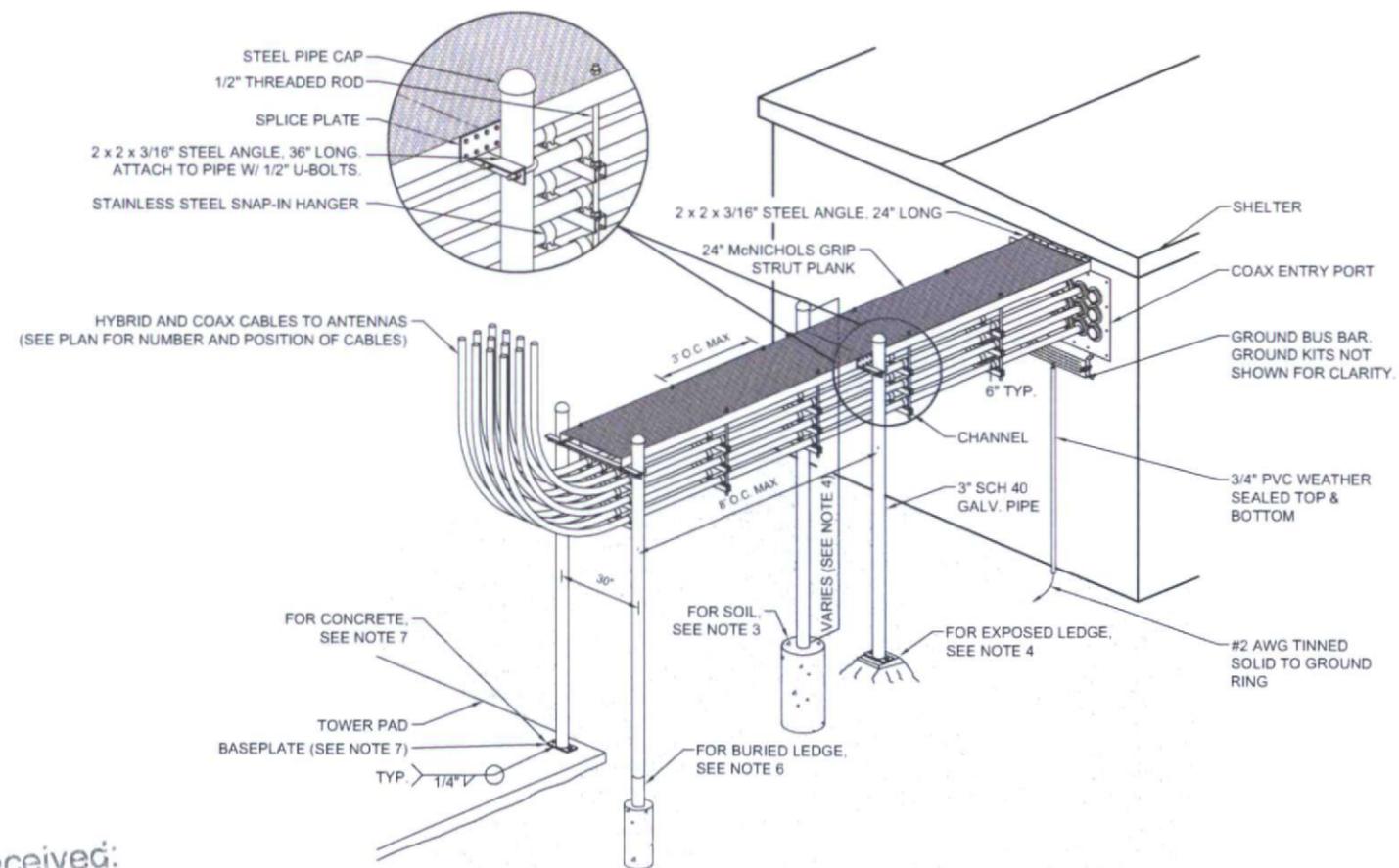
No.	Date	Revision
A	10/20/14	90% PZD REVISION
B	12/11/14	100% FZD FINAL SET
0	04/27/15	ZONING SUBMITTAL
1		
2		



Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97478

Drawing Title:
ICE BRIDGE DETAILS

Project Number:	Date:
Drafter:	Designer:
Project Manager:	Professional of Record:
Revision No:	Sheet No:
0	A-5



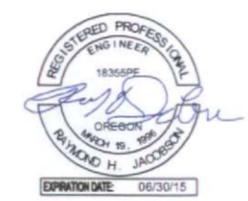
Date Received:

MAY 01 2015

Original Submittal *GM*

22"x34" SCALE, NOT TO SCALE
 11"x17" SCALE, NOT TO SCALE

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.



SIGNED: 04/27/15

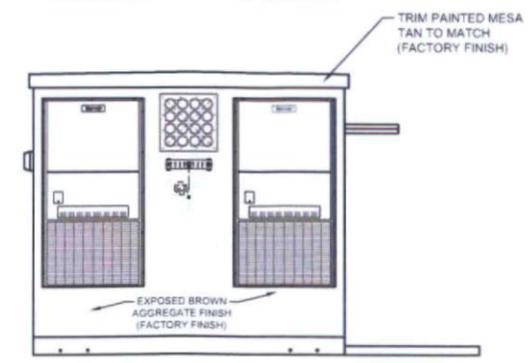
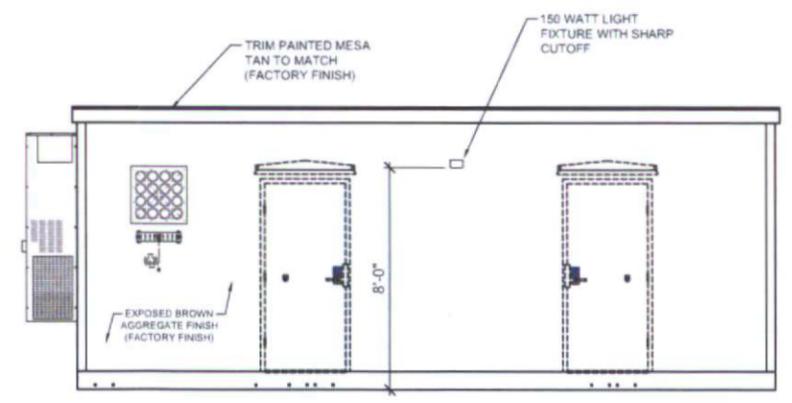
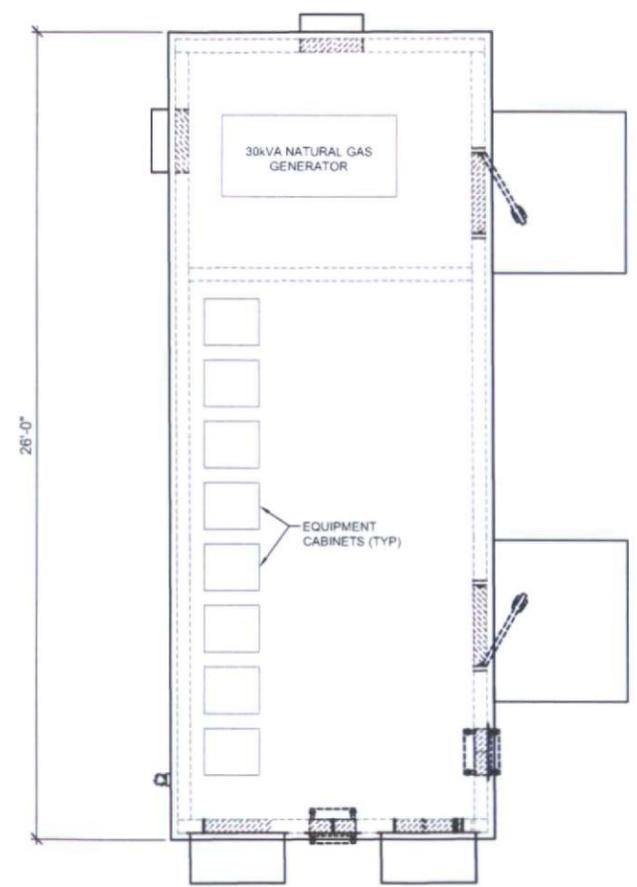
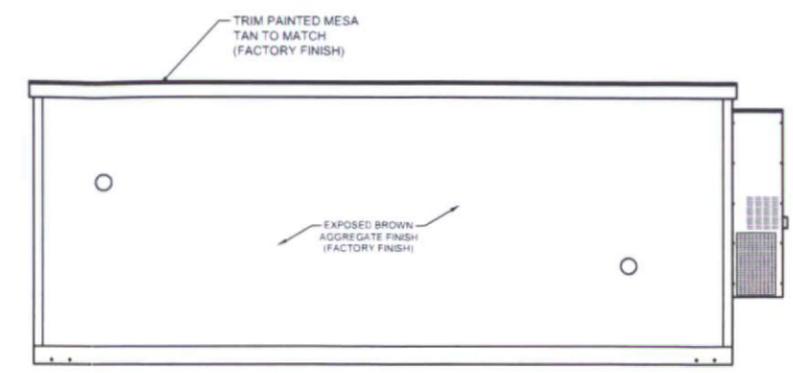
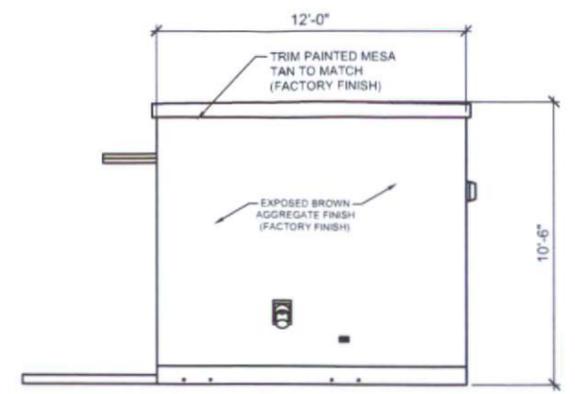
No.	Date	Revision
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0	04/27/15	ZONING SUBMITTAL
1		
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Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97478

Drawing Title:
SHELTER DETAILS

Project Number:	Date:
Drafter:	Designer:
Project Manager:	Professional of Record:
Revision No:	Sheet No:
0	A-6



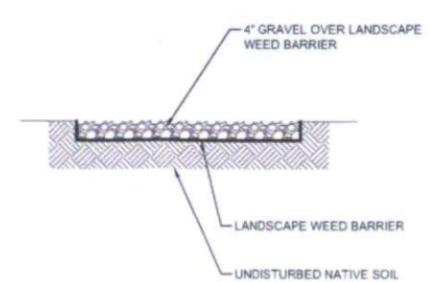
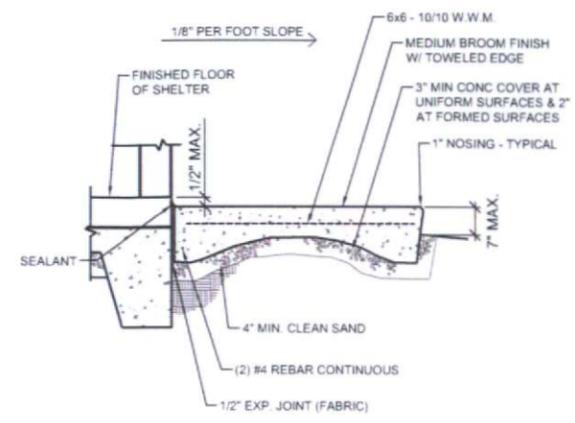
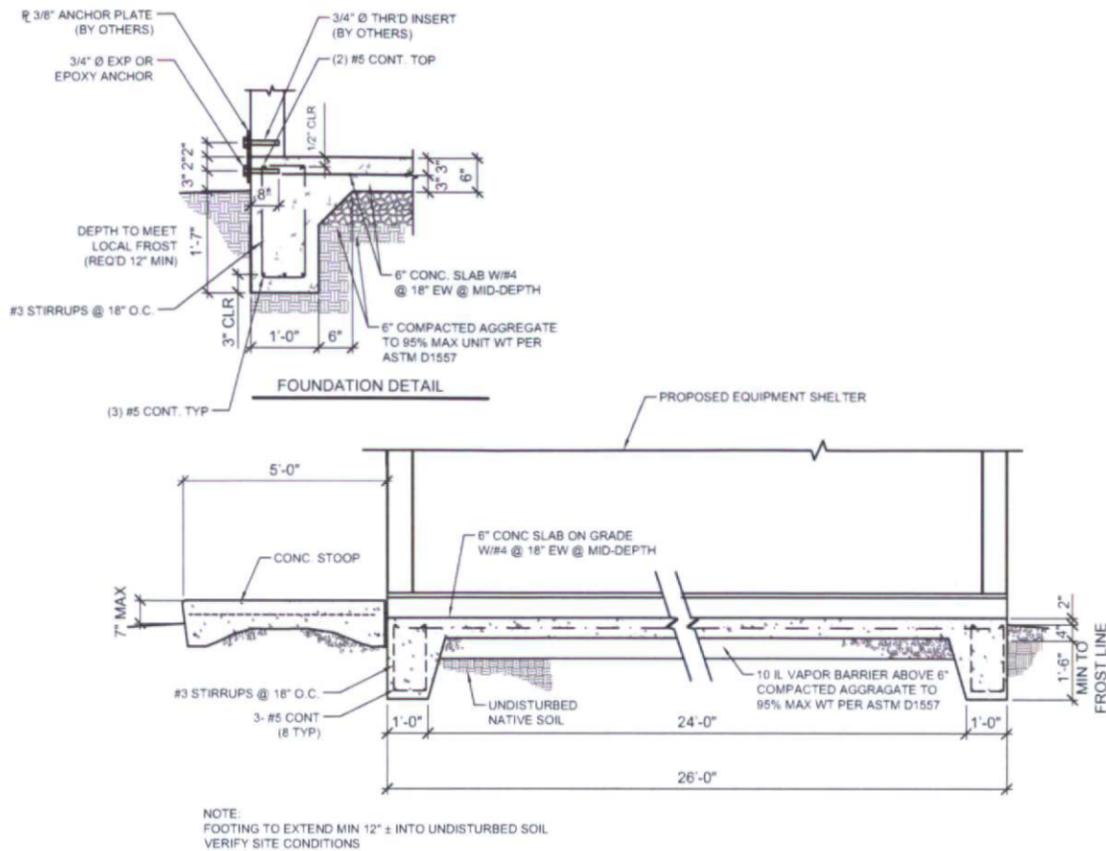
FIBREBOND SHELTER
 1300 DAVENPORT DR.
 MINDEN, LA 71055
 (800) 824-2614
 CONTACT: SHAWN LEWIS

Date Received:

MAY 01 2015

Original Submittal *SM*

22"x34" SCALE: NOT TO SCALE
 11"x17" SCALE: NOT TO SCALE



- NOTES:
- 1) GRAVEL AND LANDSCAPE WEED BARRIER TO COVER ENTIRE LEASE AREA.
 - 2) IF FENCED, GRAVEL AND LANDSCAPE WEED BARRIER TO EXTEND 12\"/>

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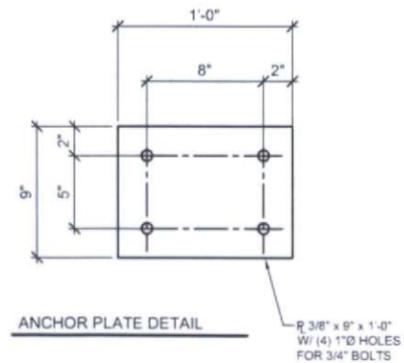
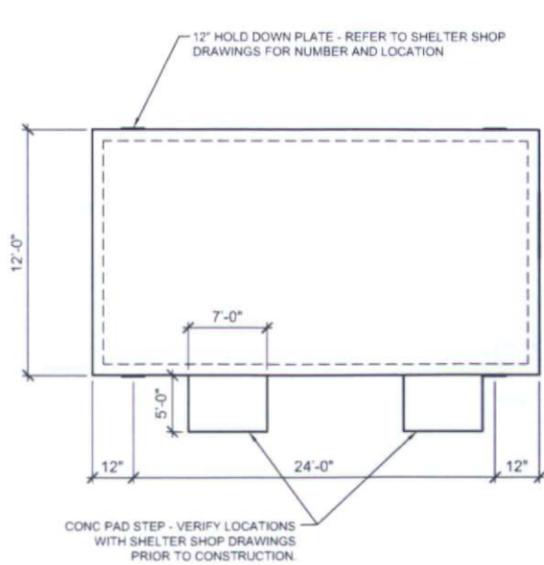
FOUNDATION SECTION 5

22"x34" SCALE, NOT TO SCALE
11"x17" SCALE, NOT TO SCALE

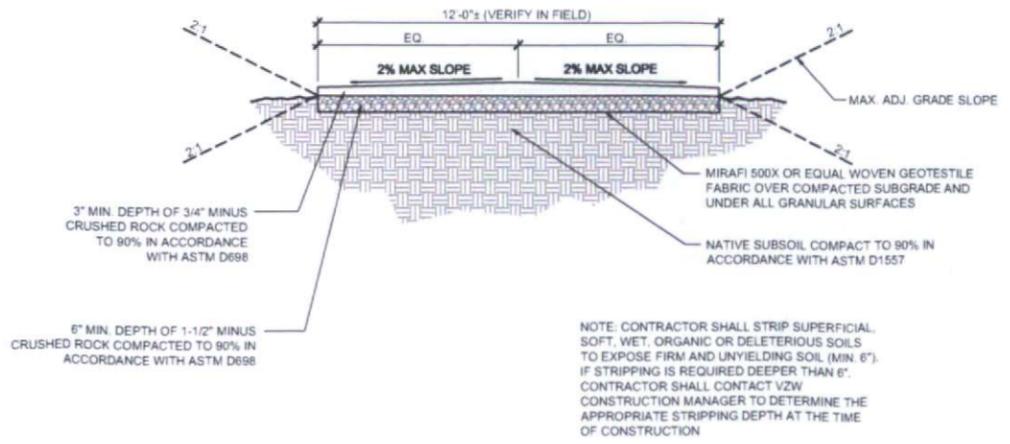
CONC. STOOP DETAIL 4

22"x34" SCALE, NOT TO SCALE
11"x17" SCALE, NOT TO SCALE

GRAVEL LEASE AREA 3



- STANDARD CONCRETE & REINFORCING BAR NOTES:**
1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND THE SPECIFICATION CAST-IN-PLACE CONCRETE.
 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS UNLESS NOTED OTHERWISE.
- FOUNDATION DESIGN LOADS:**
1. FOUNDATION HAS BEEN DESIGNED PER 2003 IBC FOR THE FOLLOWING DESIGN LOADS:
SEISMIC ZONE 4, SOIL TYPE "D" EARTHQUAKE,
80 MPH, EXPOSURE "B" WIND
 2. ROOF LL = 25PSF (SNOW)
FLOOR LL = 250PSF
SHELTER DL = 50,000LB
 3. ASSUMED ALLOWABLE BEARING PRESSURE = 2000PSF
FOUNDATION SHALL BEAR ON FIRM UNDISTURBED NATIVE SOIL.



NOTE: CONTRACTOR SHALL STRIP SUPERFICIAL, SOFT, WET, ORGANIC OR DELETERIOUS SOILS TO EXPOSE FIRM AND UNYIELDING SOIL (MIN. 6"). IF STRIPPING IS REQUIRED DEEPER THAN 6", CONTRACTOR SHALL CONTACT VZ/W CONSTRUCTION MANAGER TO DETERMINE THE APPROPRIATE STRIPPING DEPTH AT THE TIME OF CONSTRUCTION

Date Received:

MAY 01 2015

22"x34" SCALE, NOT TO SCALE
11"x17" SCALE, NOT TO SCALE

FOUNDATION PLAN 2

22"x34" SCALE, NOT TO SCALE
11"x17" SCALE, NOT TO SCALE

GRAVEL ACCESS DRIVE 1

GRAVEL ACCESS DRIVE 1



Project Info:
EUG CLEARWATER
4164 JASPER RD
SPRINGFIELD, OR 97478

Drawing Title:
FOUNDATION DETAILS

Project Number:	Date:
0	04/27/15
Drafter:	Designer:
RM	RM
Project Manager:	Professional of Record:
AM	RJ
Revision No:	Sheet No:
0	A-7

PROJECT BATTERY SYSTEM DATA						
BATTERY TYPE	VALVE REGULATED LEAD ACID (VRLA)					
NO. OF BATTERIES	84					
BATTERY MANUFACTURER	C & D TECHNOLOGIES, INC.					
MODEL NUMBER	TEL-12-185F					
DIMENSIONS	22.01" W x 12.80" H x 4.80" DP					
WEIGHT	131.0 LBS PER BATTERY					
NO OF CELLS PER UNIT	SPECIFIC GRAVITY	LEAD WGT PER CELL (LBS)	ELECTROLYTE WIGHT PER CELL (LBS)	PURE SULFURIC ACID WEIGHT (LBS)	ELECTROLYTE VOLUME PER CELL (GAL)	ELECTROLYTE VOLUME TOTAL (GAL)
8	1.220	16.0	4.8	1.8	0.4	2.4
BATTERY REPLACEMENT NOTE: SHELF MOUNTED WITHIN CBAA, TYPE 3R RATED, SELF-CONTAINED ENCLOSURE CABINET WITH ENVIRONMENTAL CONTROLS						

PROJECT BATTERY SYSTEM DATA						
BATTERY TYPE	VALVE REGULATED LEAD ACID (VRLA)					
NO. OF BATTERIES	8					
BATTERY MANUFACTURER	NORTHSTAR BATTERY COMPANY					
MODEL NUMBER	NSB 170FT					
DIMENSIONS	22.0" W x 12.8" H x 4.8" DP					
WEIGHT	128.0 LBS PER BATTERY					
NO OF CELLS PER UNIT	SPECIFIC GRAVITY	LEAD WGT PER CELL (LBS)	ELECTROLYTE WIGHT (LBS)	PURE SULFURIC ACID WEIGHT (LBS)	ELECTROLYTE VOLUME PER CELL (GAL)	ELECTROLYTE VOLUME TOTAL (GAL)
		9.7	22.8	0.8		2.08
BATTERY REPLACEMENT NOTE: SHELF MOUNTED WITHIN CBAA, TYPE 3R RATED, SELF-CONTAINED ENCLOSURE CABINET WITH ENVIRONMENTAL CONTROLS						

BATTERY REQUIREMENTS				
REQUIREMENTS	NON-RECOMBANT BATTERIES		RECOMBANT BATTERIES	
	FLOODED LEAD ACID BATTERIES	FLOODED HIGH-CAD LEAD ACID BATTERIES	VALVE REGULATED LEAD ACID (VRLA) BATTERIES	LITHIUM-ION BATTERIES
SAFETY CAPS	N/A	N/A	YES (908.5.2)	N/A
COMMENTS: PER MANUFACTURER, THE MISBUREAU II PRODUCT ATL-35 UTILIZES A COMBINATION FLAME ARRESTOR/VENT CAP.				
THERMAL RUNAWAY MANAGEMENT	N/A	N/A	YES (908.5)	N/A
COMMENTS: BATTERY IS MORE RESILIENT AS A RESULT OF THE LOW SPECIFIC GRAVITY DESIGN. HOWEVER, ADDITIONAL DC POWER PLANT TEMPERATURE COMPENSATION MAY BE REQUIRED BY JURISDICTION. THERMAL RUNAWAY PROCEDURE ACTION SIGNAGE SHALL BE POSTED FOR EASY ACCESS IN ALL BATTERY AREAS.				
SPILL CONTROL	N/A	N/A	YES (908.5)	N/A
COMMENTS: SPILL CONTROL NOT REQUIRED BY IFC FOR THIS TYPE OF BATTERY. HOWEVER, THE SNOHOMISH COUNTY REQUIRES SPILL CONTROL FOR BATTERIES CONTAINING MORE THAN 80 GALLONS OF ACCUMULATIVE ELECTROLYTE VOLUME. ALL BATTERY ENCLOSURE CABINETS SHALL BE EQUIPPED WITH A LIQUID TIGHT INTERIOR TRAY LINER INSTALLED AT THE BOTTOM OF THE ENCLOSURE TO SUIT THE JURISDICTIONAL CODE REQUIREMENTS				
NEUTRALIZATION	N/A	N/A	YES (908.5.2)	N/A
COMMENTS: NEUTRALIZATION FLOWS OR SOCKS AS MANUFACTURED FOR SUCH PURPOSES SHALL BE EMPLOYED AND PLACED AT THE INTERIOR BASE OR PERIMETER OF ENCLOSURE AS PER NEUTRALIZATION DEVICE MANUFACTURERS RECOMMENDATION.				
VENTILATION	N/A	N/A	YES (908.5.1, 908.5.2)	N/A
COMMENTS: CONTINUOUS VENTILATION SHALL BE PROVIDED AT A RATE OF NOT LESS THAN 1 CUBIC FOOT PER MINUTE PER SQUARE FOOT (1CFM/SQFT)				
SIGNAGE	N/A	N/A	YES (908.5)	N/A
COMMENTS: CODE SPECIFIED BATTERY ROOM SAFETY SIGNAGE, HAZARDOUS MATERIAL SIGNAGE (4 DIAMOND) AND THERMAL RUNAWAY PROCEDURE SIGNAGE SHALL ALL BE CLEARLY POSTED IN ALL BATTERY AREAS				
SEISMIC PROTECTION	N/A	N/A	YES (908.5)	N/A
COMMENTS: BATTERY STORAGE ENCLOSURE CABINETS AND ANCHORAGE ARE DESIGNED TO EXCEED ALL IBC CODE REQUIRED SEISMIC FORCES FOR SITE SPECIFIC INSTALLATIONS.				
SMOKE DETECTION	N/A	N/A	YES (908.5)	N/A
COMMENTS: N/A OUTDOOR APPLICATION				
NOTE: CODE REFERENCES ARE TO 2012 INTERNATIONAL FIRE CODE FOR STATIONARY STORAGE BATTERY SYSTEMS.				

Thermal Runaway Procedure Posting
Attachment A to Thermal Runaway procedure

Reading Overriding Bulletin # Thermal Runaway in Vehicle Workshop

14 copy of this page shall be laminated or placed in a plastic sheet protector and posted in all battery area.

If you encounter batteries too hot to touch or that make hissing or whistling noises from their vents:

- There is a fire or smoke
- If the fire stops and smokes
- If there is a strong rotten egg hydrogen sulfide odor

Important: Take an action that would produce a spark and ignite otherwise hydrogen

If you encounter batteries too hot to touch but there is no smoke and it is safe to remain in facility:

- Call for help
- Increase ventilation in battery area
- Reduce charge current either by turning off enough rectifiers so that the load barely is covered or by lowering the float voltage
- Increase cooling in the battery area if possible
- If there is a spill or other hazardous situation call the Environmental hotline at 1-800-455-7800

Do not over-vent to battery emergencies. Starting batteries release potentially lethal concentrations of toxic gases or other chemicals and should be handled by trained Fire Department with appropriate protective clothing and full Certified Breathing Apparatus (SCBA).

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SIGNED: 04/27/15

THERMAL RUNAWAY PROCEDURE 6

IN CASE OF EMERGENCY
CALL N.O.C.C.
1-800-264-6620

NOTE:
INSTALL PER MANUFACTURER SPECIFICATIONS, FCC AND VERIZON WIRELESS GUIDELINES

No.	Date	Revision
A	10/20/14	90% PZD REVISION
B	12/1/14	100% FZD FINAL SET
D	04/27/15	ZONING SUBMITTAL
1		
2		

Client:

BATTERY INFORMATION 5

NOTE:
INSTALL PER MANUFACTURER SPECIFICATIONS, FCC AND VERIZON WIRELESS GUIDELINES

Date Received:
MAY 01 2015

Original Submittal *cm*

NOTE:
INSTALL PER MANUFACTURER SPECIFICATIONS, FCC AND VERIZON WIRELESS GUIDELINES

N.O.C.C. SIGNAGE 4

NOTICE
GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME) awareness training.
- All personnel entering this site must be authorized.
- Obey all posted signs.
- Assume all antennas are active.
- Before working on antennas, notify owners and disable appropriate transmitters.
- Maintain minimum 3 feet clearance from all antennas.
- Do not stop in front of antennas.
- Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment rooms.

NOTE:
INSTALL PER MANUFACTURER SPECIFICATIONS, FCC AND VERIZON WIRELESS GUIDELINES

Implementation Team:

A&E Team:

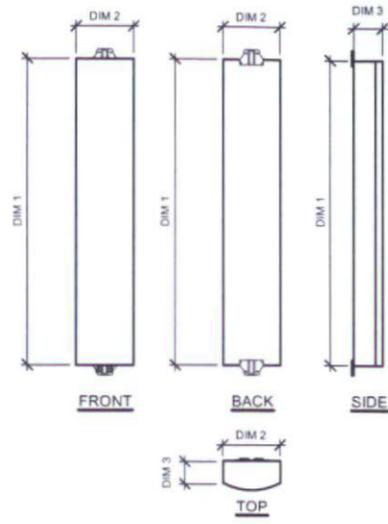
Project Info:

EUG CLEARWATER
4164 JASPER RD
SPRINGFIELD, OR 97478

Drawing Title:
BATTERY & SIGNAGE INFORMATION

Project Number:	Date:
0	04/27/15
Drafter:	Designer:
RM	RM
Project Manager:	Professional of Record:
AM	RJ
Revision No:	Sheet No:
0	A-8

- NOTES:
 1. INSTALL ANTENNAS PER MANUFACTURER SPECIFICATIONS
 2. CONTRACTOR TO TORQUE ALL MOUNTING HARDWARE PER MANUFACTURER SPECIFICATIONS



SECTOR ALPHA	QTY	DIM 1	DIM 2	DIM 3
HT4C6318G000R	1	94.9"	20.7"	7.4"
QAP-660-V-3	1	72.0"	12.5"	7.1"
QAP-660-V-3	1	72.0"	12.5"	7.1"
HT4C6318G000R	1	94.9"	20.7"	7.4"
SECTOR BETA				
X7CAP-FRO-860-VR0	1	96.0"	14.6"	8.2"
QAP-660-V-2	1	72.0"	12.5"	7.1"
QAP-660-V-4	1	72.0"	12.5"	7.1"
X7CAP-FRO-860-VR0	1	96.0"	14.6"	8.2"
SECTOR GAMMA				
HT4C6318G000R	1	94.9"	20.7"	7.4"
QAP-660-V-3	1	72.0"	12.5"	7.1"
QAP-660-V-3	1	72.0"	12.5"	7.1"
HT4C6318G000R	1	94.9"	20.7"	7.4"

PROPOSED ANTENNA AND COAX SCHEDULE											
SECTOR ALPHA	AZIMUTH	TIP HEIGHT	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH TILT	NUMBER OF FEEDERS	FEEDER TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
700	25°	90'-0"	1	ANTEL	HT4C6318G000R (RET=5)	0°	0°	*	HYBRID FIBER	TBD	RRU
AWS	25°	80'-0"	1	CSS	QAP-660-V-3	0°	0°	*	HYBRID FIBER	TBD	RRU
PCS	25°	80'-0"	1	CSS	QAP-660-V-3	0°	0°	*	HYBRID FIBER	TBD	RRU
850	25°	90'-0"	1	ANTEL	HT4C6318G000R (RET=5)	0°	0°	*	HYBRID FIBER	TBD	RRU
SECTOR BETA	AZIMUTH	TIP HEIGHT	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH TILT	NUMBER OF FEEDERS	FEEDER TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
700	120°	90'-0"	1	CSS	X7CAP-FRO-860-VR0 (RET=4)	0°	0°	**	HYBRID FIBER	TBD	RRU
AWS	120°	80'-0"	1	CSS	QAP-660-V-2	0°	0°	**	HYBRID FIBER	TBD	RRU
PCS	120°	80'-0"	1	CSS	QAP-660-V-4	0°	0°	**	HYBRID FIBER	TBD	RRU
850	120°	90'-0"	1	CSS	X7CAP-FRO-860-VR0 (RET=4)	0°	0°	**	HYBRID FIBER	TBD	RRU
SECTOR GAMMA	AZIMUTH	TIP HEIGHT	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH TILT	NUMBER OF FEEDERS	FEEDER TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
700	260°	90'-0"	1	ANTEL	HT4C6318G000R (RET=5)	0°	0°	***	HYBRID FIBER	TBD	RRU
AWS	260°	80'-0"	1	CSS	QAP-660-V-3	0°	0°	***	HYBRID FIBER	TBD	RRU
PCS	260°	80'-0"	1	CSS	QAP-660-V-3	0°	0°	***	HYBRID FIBER	TBD	RRU
850	260°	90'-0"	1	ANTEL	HT4C6318G000R (RET=5)	0°	0°	***	HYBRID FIBER	TBD	RRU

TMA MODEL # COMMScope E15R05P19

- * (1) HYBRID CABLE SHALL FEED (4) RRU'S PER SECTOR EACH ANTENNA SHALL HAVE (4) 1/2" COAX TO ASSOCIATED RRU (6-10' LENGTH)
- ** (1) HYBRID CABLE SHALL FEED (4) RRU'S PER SECTOR EACH ANTENNA SHALL HAVE (4) 1/2" COAX TO ASSOCIATED RRU (6-10' LENGTH)
- *** (1) HYBRID CABLE SHALL FEED (4) RRU'S PER SECTOR EACH ANTENNA SHALL HAVE (4) 1/2" COAX TO ASSOCIATED RRU (6-10' LENGTH)

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SIGNED: 04/27/15

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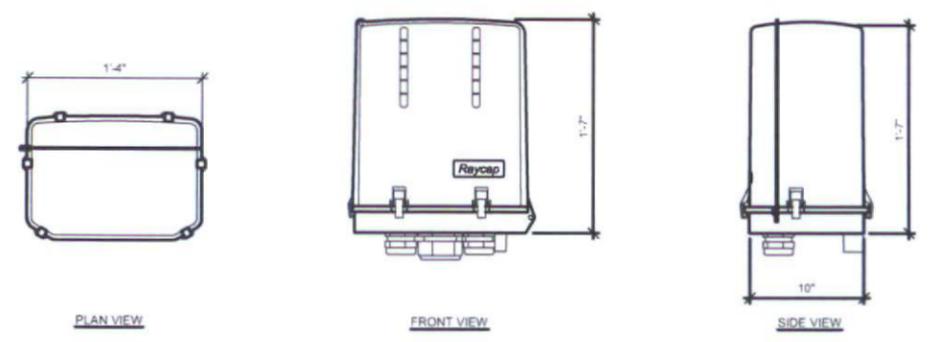
Drawing Title:
PROPOSED ANTENNA CONFIGURATION

Project Number:	Date:
Drafter:	Designer:
Project Manager:	Professional of Record:
Revision No:	Sheet No:
0	RF-1

PROPOSED ANTENNA DIMENSIONS 5

22"x34" SCALE NOT TO SCALE
 11"x17" SCALE NOT TO SCALE

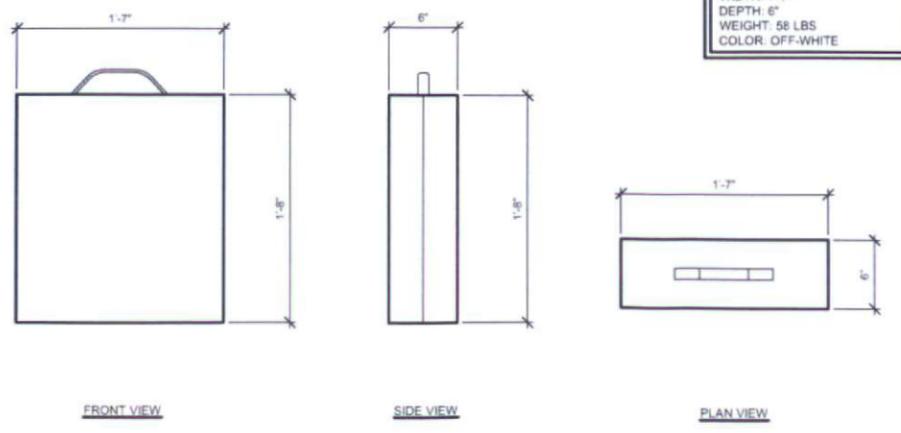
MANUFACTURER: RAYCAP
 MODEL: RCMDC-3315-PF-48
 HEIGHT: 1'-7"
 WIDTH: 1'-4"
 DEPTH: 10"
 WEIGHT: 26.9 LBS (WITH MOUNT)
 COLOR: DARK GRAY



RAYCAP SPLITTER DETAIL 4

22"x34" SCALE NOT TO SCALE
 11"x17" SCALE NOT TO SCALE

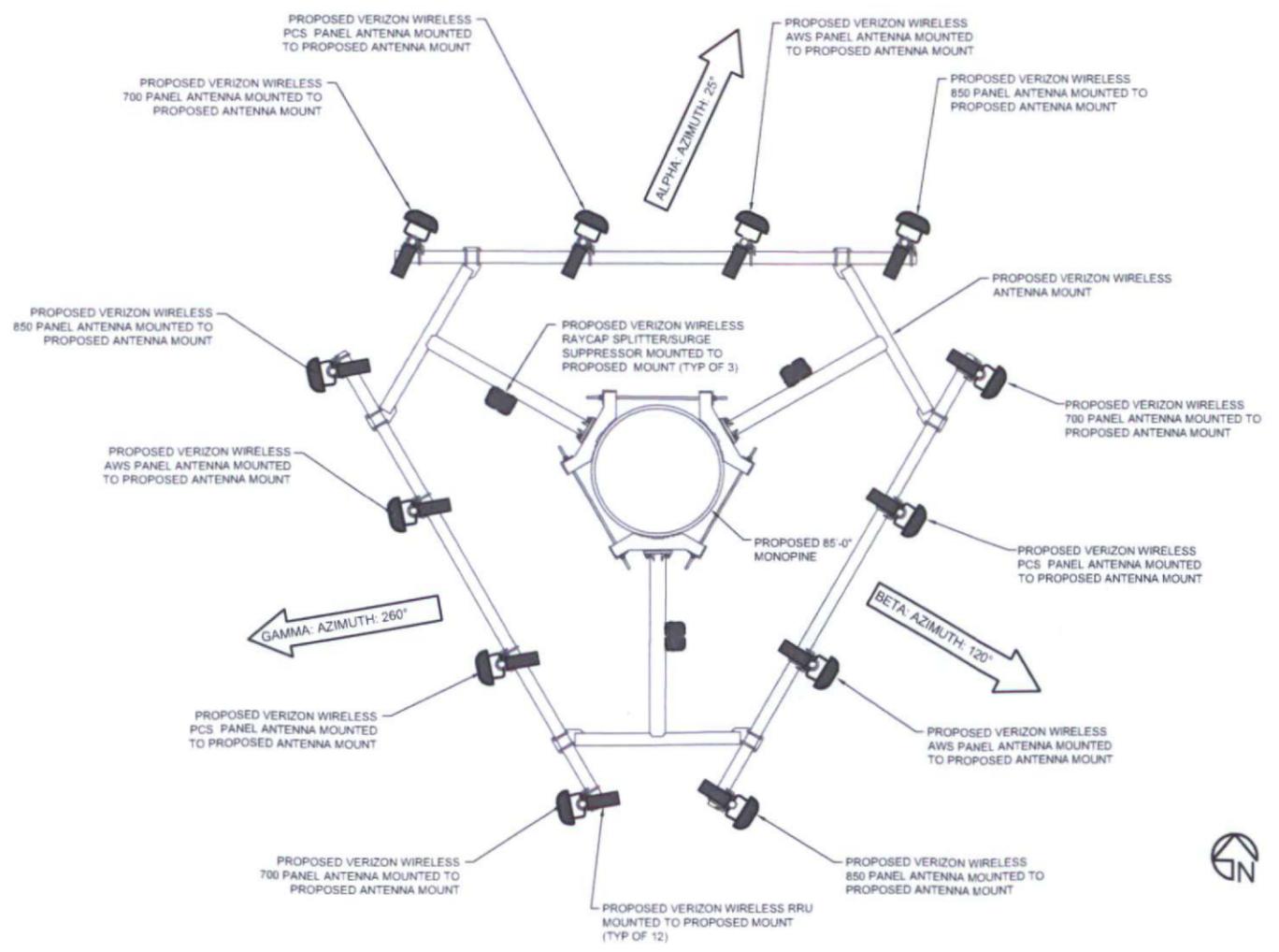
MANUFACTURER: ERICSSON
 MODEL: RRUS 12
 HEIGHT: 1'-8"
 WIDTH: 1'-7"
 DEPTH: 6"
 WEIGHT: 58 LBS
 COLOR: OFF-WHITE



ERICSSON RRUS 12 DETAIL 2

22"x34" SCALE NOT TO SCALE
 11"x17" SCALE NOT TO SCALE

PROPOSED ANTENNA CONFIGURATION 1



Date Received:

MAY 01 2015

Original Submittal *Sa*

EXHIBIT B

RF Justification Letter

Date Received:

MAY 01 2015

December 23, 2014



December 23, 2014

City of Springfield
Development Services Department
225 5th St
Springfield, OR 97477

This letter is in regards to a potential wireless communication facility for Verizon Wireless, referred to as "EUG Clearwater", located at 4164 Jasper Rd, Springfield, OR 97478. This site is proposed as a response to in-building data usage and overall data traffic increases, and the upcoming Land Owner driven decommission of Verizon Wireless's current EUG Springfield site (Figure A).

The wireless system for this site is linked to both coverage and capacity. With the increase in data demands by wireless customers, the capacity from available bandwidth in this given geographical area is exhausted. The customer's experience is exacerbated by the reduced speeds available to users in mediocre data coverage in the neighborhoods located between the existing EUG Springfield site, and the EUG Mohawk site (Figure A). In general, a user's over all data desired doesn't diminish in marginal coverage, but instead the amount of time the user consumes bandwidth is prolonged. This becomes an issue once the total individuals served by a given cell site exceed the sites capacity to deliver data in a timely manner. If a user has a prolonged wait in a data 'queue' before receiving service, they may have good signal strength, but in affect they experience poor or no service due to the extended wait.

Currently there is one site with a single sector pointed toward the area of concern; SPRINGFIELD (Figure A). The 'Growth Factor' for this sector is currently 0.539. This equates to the customers in the area currently creating data usage demands 1.855 times the capacity of the sectors from the two sites noted above. As the EUG Springfield site will be decommissioned, the fix requires we double the current capacity in the area. To do that the sector count must increase to atleast two. This is to be accomplished with the addition of the proposed new site, EUG Clearwater.

In Figure B, 'Red' and 'Purple' represent 'Excellent' to 'Good' data coverage both indoors and outdoors. The 'Yellow' represents 'Good' data speeds outdoors and 'Fair' speeds indoors. The 'Green' represents 'Fair' outdoor speeds but the indoor speeds are 'Marginal'. However, indoors is where the majority of users are located during the peak 24 hour usage time which occurs between 8PM and 9PM.

The Light Blue area bounded in Figure B also is roughly the area requested to be searched for a potential site. The process of searching for a new site location is a balance between the traffic requirements, available existing towers, and willing landowners whose property meets both Verizon Wireless's needs and the local jurisdictional specifications.

Date Received:

MAY 01 2015

Original Submittal 

The search ring, outlined in Light Blue, was determined by the current coverage provided by the site to be decommissioned, EUG Springfield, the terrain, and the population density distribution. This need excluded all existing towers due to their distance from the coverage need. As a result a new tower is proposed.

As noted previously, this site is part of an over-all effort to replace the EUG Springfield site to be decommissioned. Figure C reflects the resulting coverage gap that will open. Plans for this area have not been solidified, making the need to solidify the area surrounding the proposed EUG Clearwater site more urgent.

With the desired location determined, the height was initially addressed by observing the general clutter (obstructions on the ground including business buildings, houses, trees, brush, topography, etc.) in the area in order to create a coverage footprint that would result in the desired signal strength handing off with the surrounding sites. As the site to be decommissioned has antennas at 160ft centerline, for a site to be a coverage "replacement", the proposed site needs to either match the to-be-decommissioned site's height, or be as tall as permissible. Due to terrain and the fact this site will be located further south and within the footprint of the EUG Springfield site, 90ft was deemed an acceptable replacement for signal strength, allowing for all current customers to maintain service. The 90ft elevation will also enable the site to have the capability to cover part of the resulting signal void to the east ('Red' bounded area in Figure C) in case a viable option to fill that area is not found before EUG Springfield must be decommissioned.

Summary

Having reviewed the data usage levels and strained capacity levels of the surrounding sites we found this location at the desired tip height of 90ft meets the signal and data needs of Verizon Wireless's customers within the area of concern in eastern Springfield neighborhood.

Sincerely,

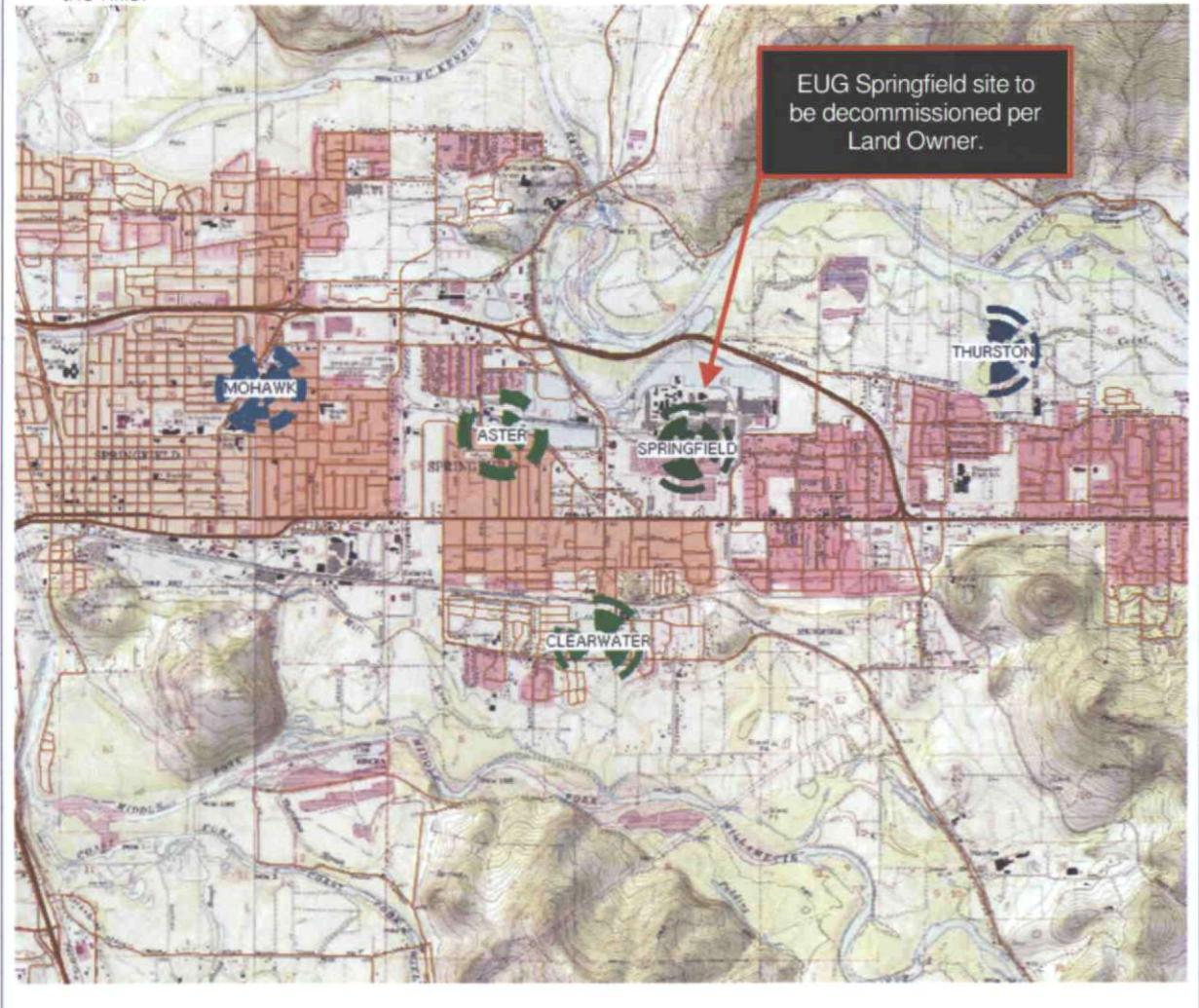


Mark Tuttle
Verizon Wireless
Pacific Northwest Region
Network Department – System Performance

Date Received:

MAY 01 2015

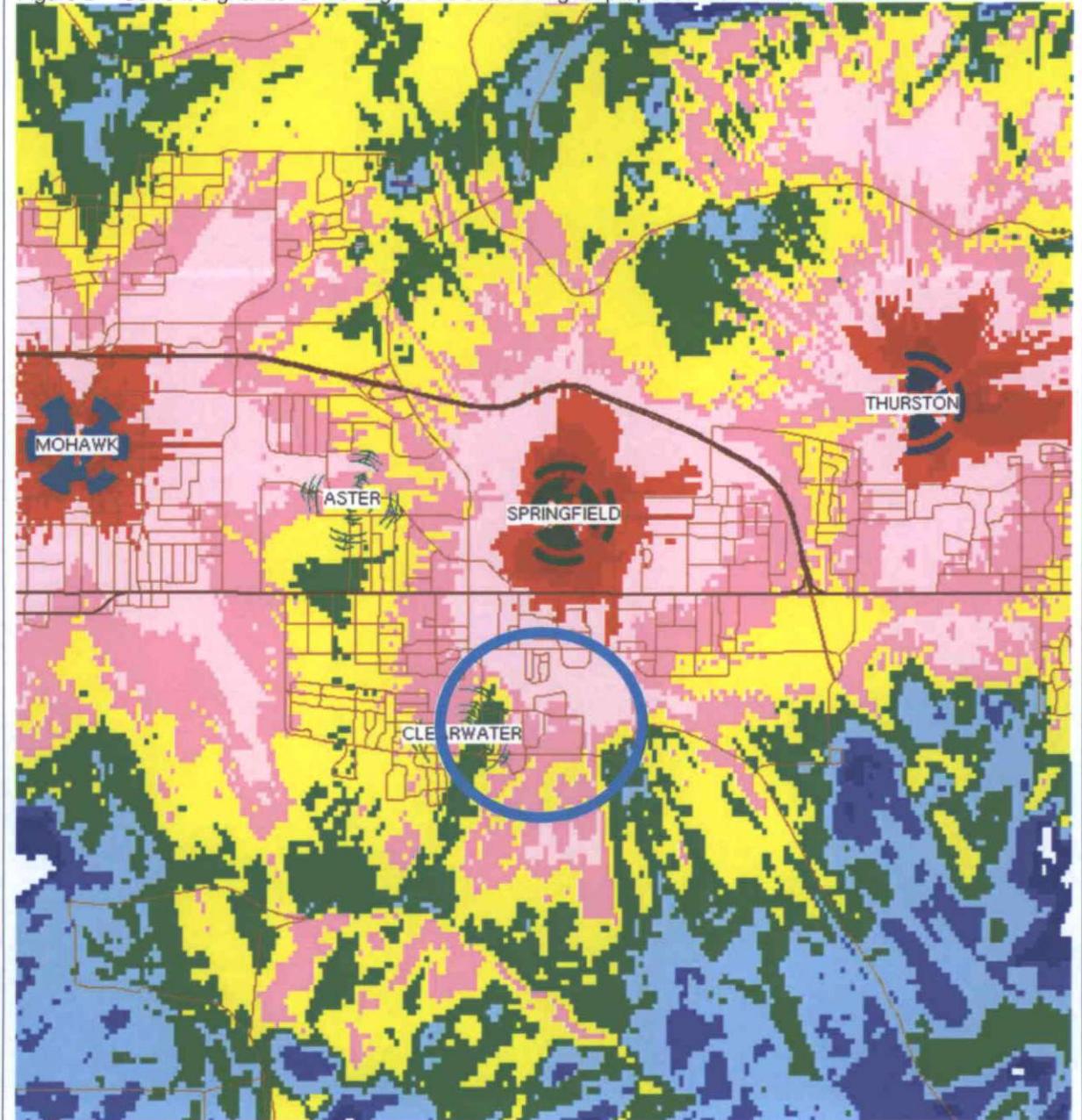
Figure A – Area of concern located between 32ND and Bob Straub Way, and extending south from Daisy St to the hills.



Date Received:

MAY 01 2015

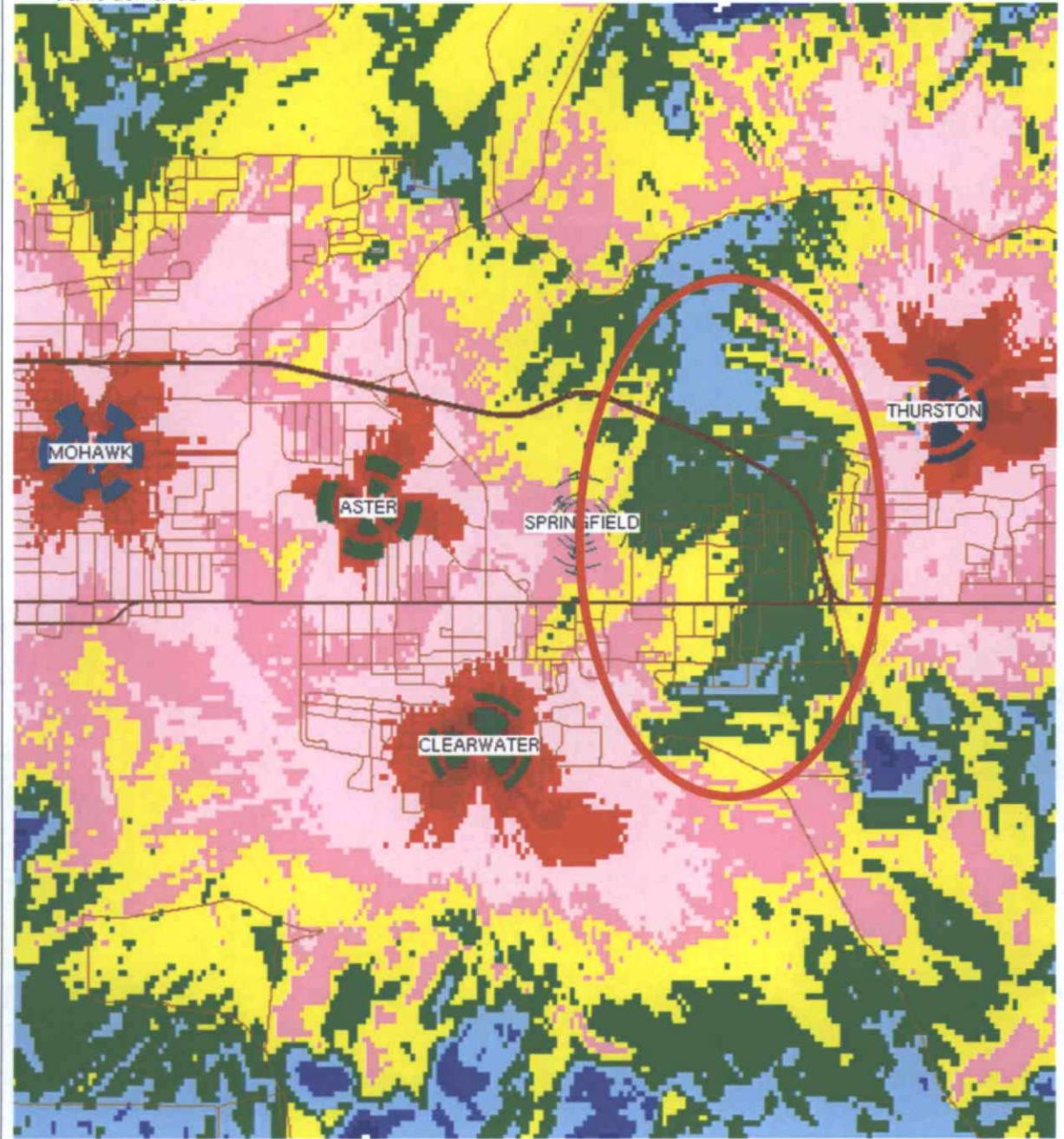
Figure B – Current Signal Level with Light Blue search ring for proposed EUG Clearwater site.



Date Received:

MAY 01 2015

Figure C – Resulting coverage with EUG Clearwater included with a tip height of 90ft. Proposed site, EUG Aster, is also included as it is part of the replacement plan for EUG Springfield and to handle the increased traffic demands.



Date Received:

MAY 01 2015

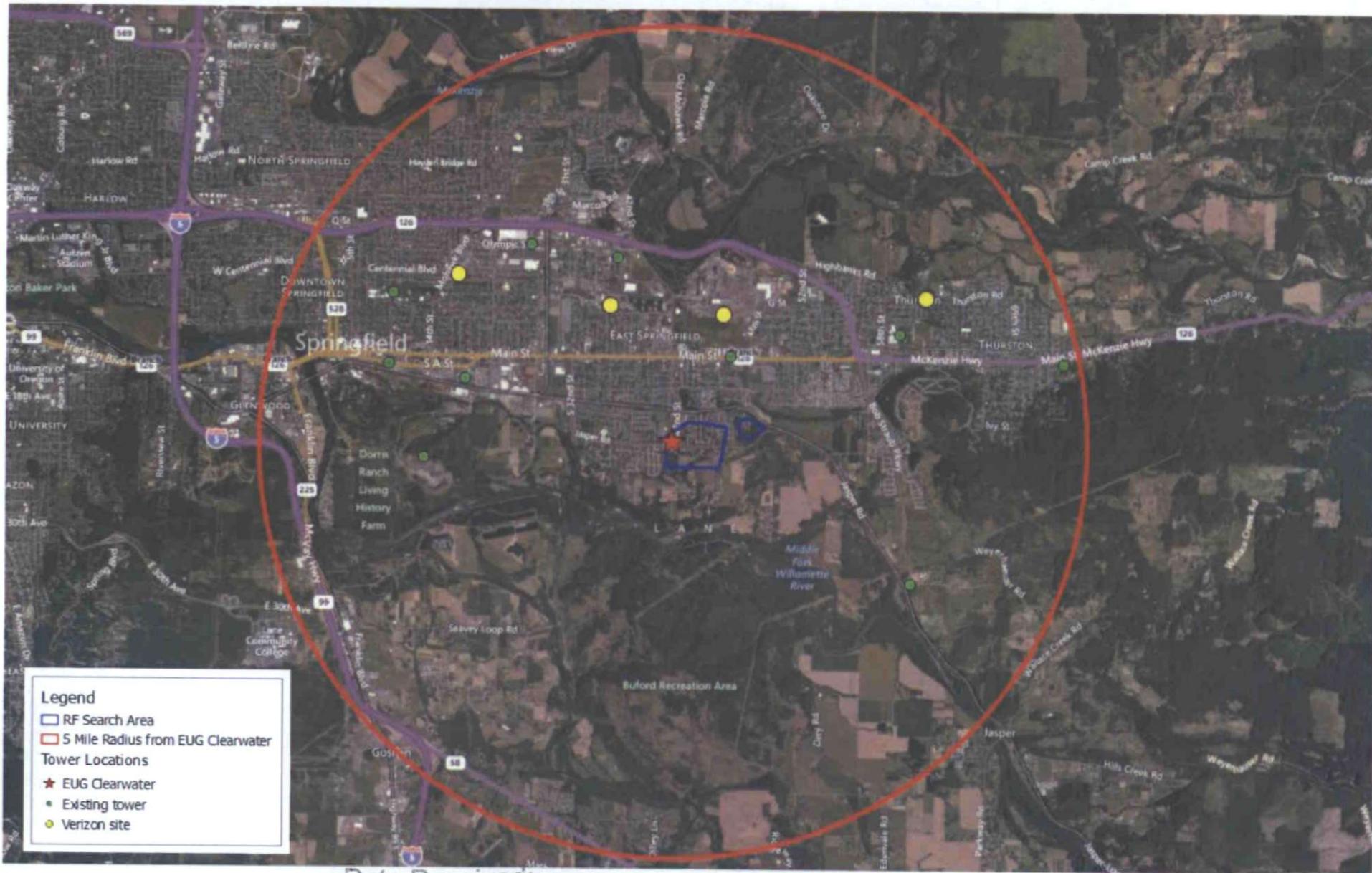
EXHIBIT C

Inventory of Existing Towers

Date Received:

MAY 01 2015

EUG CLEARWATER: EXISTING TOWERS WITHIN 5 MILES



Date Received:

MAY 01 2015

Attachment 3, Page 79 of 162

Original Submittal *sm*

EXHIBIT D

Visual Impact Study

Date Received:

MAY 01 2015

Original Submittal _____





PROJECT:
EUG CLEARWATER
PHOTOSIM MAP

Date Received:

MAY 01 2015

SHEET No:

SK-1



After
View looking North East
from Jasper RD

EUG Clearwater

4164 Jasper RD,
Springfield, OR 97478



Before



Date Received:



MAY 01 2015
Attachment 3, Page 82 of 162

Original Submittal SM



After
View looking East from
Horace St

EUG Clearwater

4164 Jasper RD,
Springfield, OR 97478



Before



Date Received:



MAY 01 2015

Attachment 3, Page 83 of 162

Original Submittal ym



After
View looking South West
from S 42nd St

EUG Clearwater

4164 Jasper RD,
Springfield, OR 97478



Before



Date Received:





EUG Clearwater

4164 Jasper RD,
Springfield, OR 97478

Close up of Monopine
(Antennas painted to match
branches)



Date Received:



MAY 01 2015

Attachment 3, Page 85 of 162

Original Submittal YM

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.



SIGNED: 03/25/15

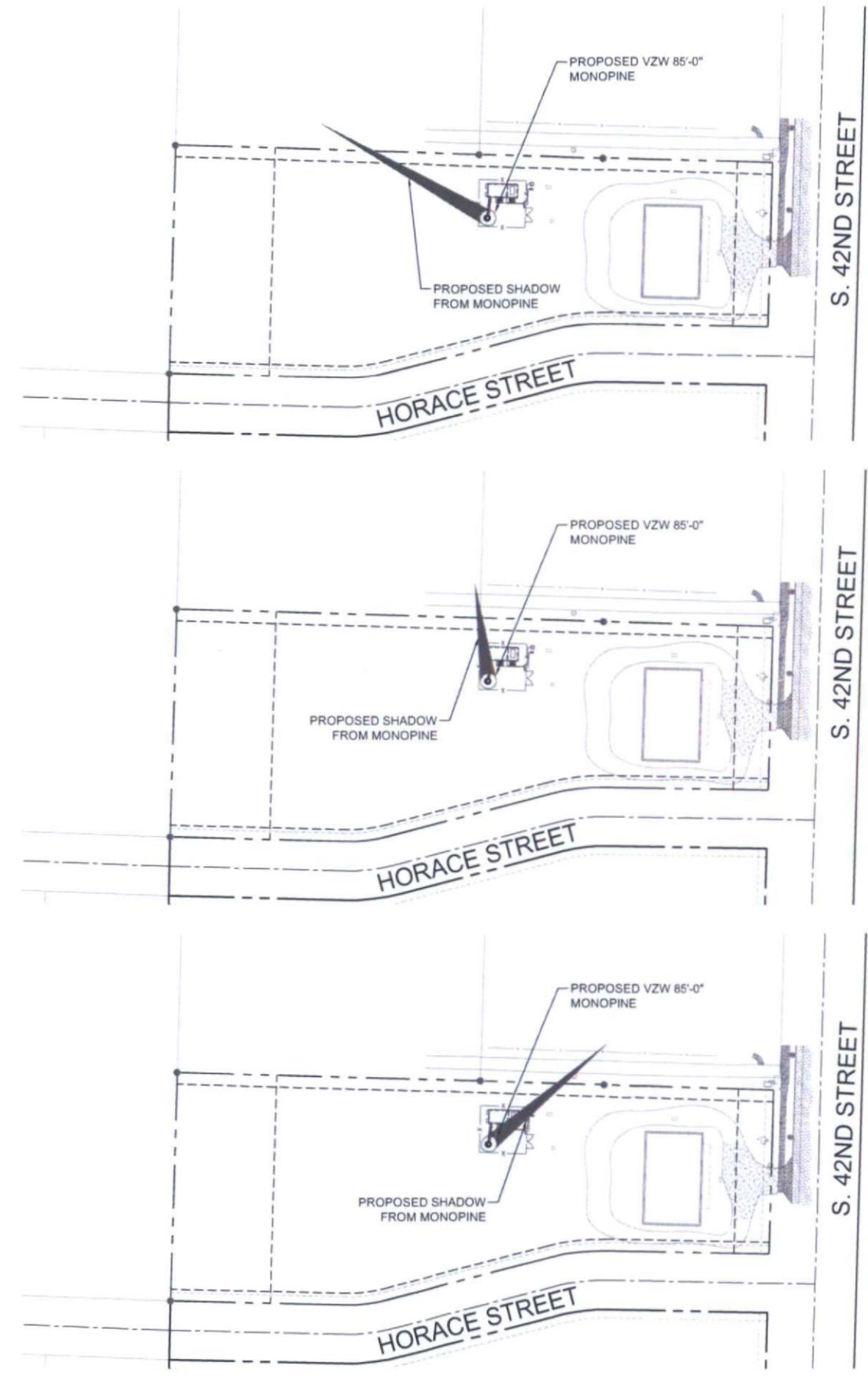
No.	Date	Revision
A	10/20/14	90% PZD REVISION
B	12/11/14	100% PZD FINAL SET
0	03/25/15	ZONING SUBMITTAL
1	-	-
2	-	-



Project Info:
EUG CLEARWATER
 4164 JASPER RD
 SPRINGFIELD, OR 97478

Drawing Title:
PROPOSED SHADOW DIAGRAM

Project Number:	Date:
Drafter:	Designer:
Project Manager:	Professional of Record:
Revision No:	Sheet No:
RM	RM
AM	RJ
0	SD-1



PROPOSED SHADOW @ 9:00AM

ANGLE OF SUN FROM TRUE NORTH: 118.206
 ANGLE OF SUN FROM THE HORIZON: 30.878
 LENGTH OF SHADOW: 158.84'

PROPOSED SHADOW @ NOON

ANGLE OF SUN FROM TRUE NORTH: 173.414
 ANGLE OF SUN FROM THE HORIZON: 49.570
 LENGTH OF SHADOW: 80.94'

PROPOSED SHADOW @ 3:00PM

ANGLE OF SUN FROM TRUE NORTH: 233.744
 ANGLE OF SUN FROM THE HORIZON: 36.155
 LENGTH OF SHADOW: 130.055'

Date Received:
 MAY 01 2015

22"x34" SCALE: 1" = 60'-0"
 11"x17" SCALE: 1" = 120'-0"

Original Submittal *SW*

EXHIBIT E

Noise Report

Date Received:

MAY 01 2015



March 30, 2015

Sara Treber
Smartlink, LLC
1997 Annapolis Exchange Pkwy, Suite 200
Annapolis, MD 21401

Re: *Acoustical Report – Verizon EUG Clearwater*
Site: *4164 Jasper Road, Springfield, OR 97478*

Dear Sara,

This report presents a noise survey performed in the immediate vicinity of the proposed Verizon telecommunications facility at 4164 Jasper Road in Springfield, Oregon. This noise survey extends from the proposed equipment to the nearest properties. The purpose of this report is to document the existing conditions and the impacts of the acoustical changes due to the proposed equipment. This report contains data on the existing and predicted noise environments, impact criteria and an evaluation of the predicted sound levels as they relate to the criteria.

Ambient Conditions

Existing ambient noise levels were measured on November 14, 2014 site with a Larson-Davis 820 sound level meter. Measurements were conducted in accordance with Oregon Administrative Rules (OAR) 340-35-035 subsection (3)(b). The average ambient noise level was 48 dBA primarily due to noise from local traffic. The weather during the measurements included light rain and the roads were wet.

Code Requirements

The site is located within the City of Springfield Zoning jurisdiction on property with a CC zoning. There are LD and MD zoned properties nearby, which are considered “noise sensitive”. Lane County defines a noise sensitive unit as a receiving structure used for overnight accommodations of persons.

The proposed new equipment includes equipment support cabinets enclosed in a shelter. The shelter will be served by two cooling HVAC units, which are expected to run 24 hours a day. In addition, a generator will be housed within the shelter. The generator will run once a week during daytime hours for maintenance and testing purposes only.

Lane County Code Chapter 5.615 limits noise to a noise sensitive unit which is not the source of the sound as follows:

Noise must not exceed 60 dBA between 7:00 am and 10:00 pm, and must not exceed 50 dBA at any time between 10:00 pm and 7:00 am. Since the equipment runs intermittently 24 hours a day, it must meet the 50 dBA nighttime limit.

Date Received:

MAY 01 2015

Submittal *gm*

Predicted Equipment Sound Levels

24-Hour Operation Equipment

The equipment shelter is served by two Marviar AVP36 air conditioning units which each produce 70 dB(A) at 5 feet. The equipment will operate on a lead/lag cycle such that one unit will be in operation at a time. The units are located on the west side of the shelter. The nearest receiving property is the commercial property approximately 40 feet north of the units.

To predict equipment noise levels at the receiving properties, this survey uses the methods established by ARI Standard 275-2010 and ASHRAE. Application factors such as location, height, and reflective surfaces are accounted for in predicting the sound pressure level.

Table 1
Application Factors and Predicted Noise Levels: Proposed New Equipment

Line	Application Factor	N
1	Equipment Sound Pressure Level at 5 ft. (dBA), Lp1	70
2	Location Factor	-3
3	Distance Factor (DF) Inverse-Square Law (Free Field): $DF = 20\log(d1/d2)$	-18 (40 ft)
4	New Equipment Sound Pressure Level at Receiver, Lpr	49

According to the predicted noise levels, noise from proposed equipment will meet the 50 dBA limit at the nearest receiving property.

Emergency Equipment

The proposed equipment includes one Katolite 30 kW 50 kW Generator. According to the manufacturer, the generator will produce 76 dBA at 23 feet with a critical grade muffler.

The generator is located in a room in the east end of the shelter. The engine air discharge and exhaust are on the south side of the shelter and air intake is on the east side of the shelter. A lined hood will be provided on the air intake and discharge. The following table presents the resulting noise level at the nearest receiving property:

Receiving Property: North

Source	Sound Level	Distance To Receiver	Building Factor ¹	Noise Control ²	Distance Factor ³	dBA Level @ N PL
Discharge	76 dBA	45	-15	-10	-6	45
Intake	76 dBA	40	-7	-10	-5	54
					Total	55

Table Notes:

1. Building factor is plenum reduction / increase of building or noise reduction from interfering building element.
2. Noise control is lined hoods, duct silencers, or acoustical louvers.
3. Distance Factor = $-10 \cdot \text{LOG}(Q) + 20 \cdot \text{LOG}(R2/R1)$ for dBA or $-10 \cdot \text{LOG}(Q) + 20 \cdot \text{LOG}(R) + 0.5$ for LwA

According to the predicted noise levels, noise from proposed emergency generator will meet the 60 dBA code limit at the nearest property during test cycle operation.

Please contact our office if you have questions or need further information.

Sincerely,
SSA Acoustics, LLP


Alan Burt, P.E.
ASSOCIATE PARTNER

Date Received:

MAY 01 2015

EXHIBIT F

FAA and ODA Determinations

Date Received:

MAY 01 2015

TOWAIR Determination Results

*** NOTICE ***

TOWAIR's findings are not definitive or binding, and we cannot guarantee that the data in TOWAIR are fully current and accurate. In some instances, TOWAIR may yield results that differ from application of the criteria set out in 47 C.F.R. Section 17.7 and 14 C.F.R. Section 77.13. A positive finding by TOWAIR recommending notification should be given considerable weight. On the other hand, a finding by TOWAIR recommending either for or against notification is not conclusive. It is the responsibility of each ASR participant to exercise due diligence to determine if it must coordinate its structure with the FAA. TOWAIR is only one tool designed to assist ASR participants in exercising this due diligence, and further investigation may be necessary to determine if FAA coordination is appropriate.

DETERMINATION Results	
Structure does not require registration. There are no airports within 8 kilometers (5 miles) of the coordinates you provided.	
Your Specifications	
NAD83 Coordinates	
Latitude	44-02-10.0 north
Longitude	122-57-47.3 west
Measurements (Meters)	
Overall Structure Height (AGL)	27.4
Support Structure Height (AGL)	25.9
Site Elevation (AMSL)	149
Structure Type	
MTOWER - Monopole	

Tower Construction Notifications

Notify Tribes and Historic Preservation Officers of your plans to build a tower.

CLOSE WINDOW

Date Received:

MAY 01 2015



Oregon

John A. Kitzhaber, MD, Governor



January 27, 2015

Verizon Wireless
621 SW Alder St.
Suite 660
Portland, OR 97205

3040 25th Street, SE
Salem, OR 97302-1125
Phone: (503) 378-4880
Toll Free: (800) 874-0102
FAX: (503) 373-1688

Subject: Oregon Department of Aviation comments regarding proposed construction monopole 90' in height located in Springfield, Oregon.

Aviation Reference: 2015-ODA-026-OE

The Oregon Department of Aviation (ODA) has conducted an aeronautical study of these proposed new structure(s) and has determined that notice to the FAA is not required. The structure does not exceed Obstruction Standards of OAR 738-70-0100.

This determination is based, in part, on the foregoing description which includes specific coordinates and heights. Any changes to the original application will void this determination. Any future construction or alteration to the original application will require a separate notice from ODA.

This determination will expire (12) months from the date of this letter if construction has not been started.

Mitigation Recommendation:

- We do not object with conditions to the construction described in this proposal. This determination does not constitute ODA approval or disapproval of the physical development involved in the proposal. It is a determination with respect to the safe and efficient use of navigable airspace by aircraft and with respect to the safety of persons and property on the ground.
- Marking and lighting are necessary for aviation safety. We recommend it be installed and maintained in accordance with FAA Advisory Circular AC70/7460-1K Change 2
- The proposed obstruction should to be lower to a height that is no longer a hazard to the airport primary and horizontal surface FAA FAR 77
- The proposed obstruction should be relocate outside the airport primary and horizontal surface FAA FAR 77

Sincerely,

John P. Wilson Jr, Airport Operation & Tall Structure Specialist.

Date Received:

MAY 01 2015

EXHIBIT G

NIER Report

Date Received:

MAY 01 2015

Original Submittal GN

**NON-IONIZING ELECTROMAGNETIC EXPOSURE ANALYSIS
&
ENGINEERING CERTIFICATION**



SITE NAME: EUG Clearwater

**SITE ADDRESS: 4164 Jasper Rd
Springfield, OR 97478**

DATE: November 19, 2014

PREPARED BY:

**B. J. THOMAS, P.E.
7607 80th Ave NE
Marysville, WA 98270
(206) 851-1106**

Date Received:

MAY 01 2015

Original Submittal

A handwritten signature in black ink, appearing to be "Jm", written over a horizontal line.

PROJECT

The proposed Verizon Wireless project consists of a WCF (Wireless Communications Facility) located at 4164 Jasper Rd, Springfield, OR 97478, Lane County Tax Parcel 18020523100. The planned improvements include (12) panel antennas mounted on a proposed 85' AGL steel monopole with supporting BTS (Base Transmission System) radio equipment located at the base of the monopole in an equipment shelter.

EQUIPMENT

Type of Service: CDMA, PCS, AWS & LTE

Antennas: Amphenol HTXCW6318G000R & CSS QAP-660-V

Antenna Rad Center: 86' AGL

CALCULATIONS

Calculations for RF power densities near ground level are based on the "Evaluating Compliance with FCC Guidelines for Human Exposure to Radio Frequency Electromagnetic Fields OET Bulletin 65" Edition 97-01, August 1997 issued by the Federal Communications Commission Office of Engineering & Technology.

Section 2 of **OET Bulletin 65** demonstrates that "for a truly worst-case prediction of power density at or near the surface, such as at ground-level or on a rooftop, 100% reflection of incoming radiation can be assumed, resulting in a potential doubling of predicted field strength and a four-fold increase in (far field equivalent) power density". Therefore the following equation is used:

$$S = \text{EIRP} / \pi R^2$$

Where S = power density (mW/cm²), EIRP = equivalent isotropically radiated power and R = distance to the center of the radiation antenna (cm)

Attached as an exhibit are the MPE (Maximum Permissible Exposure) calculations using the above referenced formula and the antenna manufacturer vertical pattern information using a conservative 20 dB loss below main lobe. The calculations show that the maximum MPE at ground level (6' above AGL) at the base of the monopole and the power density is 0.001761 mW/cm² with an assumed worst-case power level of 2,000 watts ERP for the lowest antenna array. This is 0.377% of the MPE limit for the general population/uncontrolled

Date Received:

MAY 01 2015

exposure of 0.467 mW/cm² as referenced in **Table I OET Bulletin 65 Appendix A** for the lowest frequency range.

ENVIRONMENTAL EVALUATION

Routine environmental evaluation is required if the PCS broadband facility is less than 10 m (32.81 feet) AGL and has a total power of all channels in any given sector greater than 2,000W ERP as referenced in "**Table 2 Transmitters, Facilities and Operations subject to Routine environmental Evaluation**" of **Bulletin 65**. As the proposed antennas lowest point above ground level is 25 m (82 feet), the WCF is categorically exempt from requirement for routine environmental processing.

FCC COMPLIANCE

The general population/uncontrolled exposure near the monopole, including persons at ground level, surrounding properties, inside and on existing structures will have RF exposure much lower than the "worst case" scenario, which is a small fraction of the MPE limit.

Only trained persons will be allowed to access the monopole for maintenance operations. Verizon Wireless and/or its contractors will provide training to make the employees fully aware of the potential for RF exposure occupational training and they can exercise control over their exposure that is within the occupational/controlled limits.

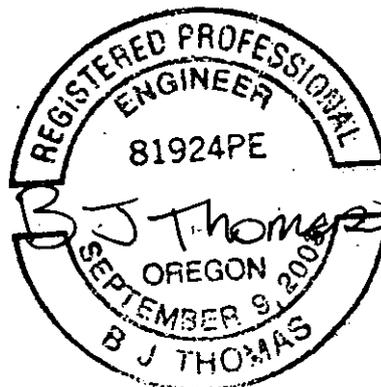
CONCLUSIONS

Based on calculations, the proposed WCF will comply with current FCC and county guidelines for human exposure to radiofrequency electromagnetic fields.

All representations contained herein are true to the best of my knowledge.

EXHIBITS

- MPE Calculations
- Antenna Data Sheets
- WCF Location Map



11/19/14

Date Received:

MAY 01 2015

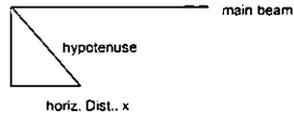
EUG Clearwater
MPE Calculations

Effective tower height assumes a person 6 ft tall.

86 height (ft)

1.76E-03	
0.001761	max power density in mW/cm ²
0.3770%	percentage of standard

tower height y



Note: 0.467 mW/cm² is 100% of allowable standard for lowest frequency

radiation center (feet), y	effective tower height (feet), y	minor lobe angle	dB below main lobe	horiz. dist. x	hypotenuse length (feet)	hypotenuse length (km)	hypotenuse length (cm)	ERP main lobe (watts)	ERP main lobe (dBm)	minor lobe ERP (dBm)	minor lobe EIRP (dBm)	minor lobe EIRP (mW)	Power at point x at ground level mW/cm ²
86	80	90	20	0.000	80.000	0.024	2438.400	2000	63.01	43.01	45.17	32897.43	1.76E-03
TOTAL												1.76E-03	

Date Received:

MAY 01 2015

11/19/2014

HT4C6318x000

Twin Band | Panel Antenna | 2x X-Pol | 63° / 63° | 18.0 / 18.0 dBi | Variable Tilt

- Twin band, 2x X-Pol (Quad-Pol), variable tilt, panel antenna
- Patented internal RET actuator adds no additional length to the antenna

Ordering Options	Model Number
When ordering, replace "x" in the model number with one of the options listed below.	
Manual Electrical Tilt	HT4C6318M000
Remote Electrical Tilt AISG v1.1	HT4C6318R000
Remote Electrical Tilt AISG v2.0 / 3GPP	HT4C6318R000G

Mounting bracket kits and other accessories are ordered separately.

Electrical Characteristics	2 x 696-900 MHz	
Frequency Bands	696-806 MHz	806-900 MHz
Polarization	2 x ±45° (Quad-Pol)	
Horizontal Beamwidth	65°	63°
Vertical Beamwidth	9.5°	10.5°
Gain	15.4 dBd (17.5 dBi)	15.9 dBd (18.0 dBi)
Electrical Downtilt	0-10°	
Impedance	50Ω	
VSWR	≤ 1.5:1	
Upper Sidelobe Suppression	> 16 dB	> 16 dB
Front-to-Back Ratio	> 25 dB	> 25 dB
Isolation Between Ports	< -25 dB	
IM3 (2x20W carrier)	-150 dBc	
Input Power	500 W	
Total Number of Connectors	Antennas has 4 connectors located at the bottom	
Connectors Per Band, Type, Location	696-900 MHz	2 Connectors / 7/16-DIN Female / Bottom
	696-900 MHz	2 Connectors / 7/16-DIN Female / Bottom
Lightning Protection	Direct Ground	
Operating Temperature	-40° to +60° C (-40° to +140° F)	

Mechanical Characteristics		
Dimensions (Length x Width x Depth)	2411 x 525 x 187 mm	94.9 x 20.7 x 7.4 in
Depth with Z-Brackets	227 mm	8.9 in
Weight without Mounting Brackets: MET	31.0 kg	68.3 lbs
Weight without Mounting Brackets: RET	31.3 kg	69.0 lbs
Survival Wind Speed	> 201 km/hr	> 125 mph
Wind Loads (160 km/hr or 100 mph)	Front	1546 N / 348 lbf
	Side	551 N / 124 lbf



Date Received:

MAY 01 2015

Original Submittal *[Signature]*

Quoted performance parameters are provided to offer typical or range values only and may vary as a result of normal manufacturing and operational conditions. Extreme operational conditions and/or stress on structural supports is beyond our control. Such conditions may result in damage to this product. Improvements to product may be made without notice.

HT4C6318x000

Twin Band | Panel Antenna | 2x X-Pol | 63° / 63° | 18.0 / 18.0 dBi | Variable Tilt

Electrical Downtilt Control

Electrical downtilt for each band can be controlled separately. Tilt indicator(s) are covered by removable transparent cap(s).

Manual Electrical Tilt (MET) Control	A colored knob at the end of the tilt indicator allows change of the tilt without need of a tool. The knob color is identical to the corresponding connector ring color. To access the knob, remove the cap by turning it counter-clockwise. It is re-installed by opposite rotation. Do not remove the transparent cap(s) from the antenna.		
Remote Electrical Tilt (RET) Control	The remote control of the electrical tilt is managed by a Multi-Device Control Unit (MDCU) inserted in the bottom of the antenna. A single module individually controls the tilt of each band (no need for daisy chain cables between the bands). This module does not add any additional length to the antenna. For RET control, the transparent caps must be in place and locked. The tilt angle indicators always remain visible and the antenna still has manual tilt control (manual override).		
RET Module	The RET module is factory installed and does not need to be ordered separately.		
	Part Number for AISG v1.1 protocol:	MDCU-A0000	One unit installed in HT4C6318R000
	Part Number for 3GPP/AISG v2.0 protocol:	MDCU-G0000	One unit installed in HT4C6318R00G

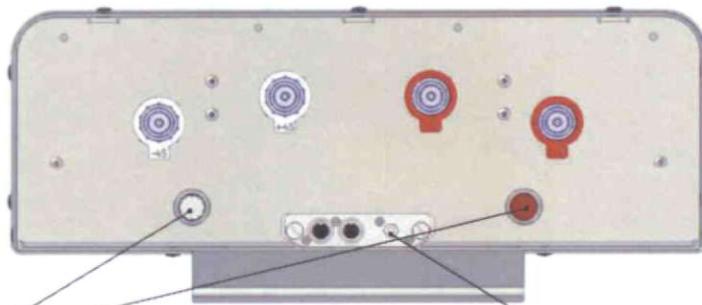
Important Installation Instructions  In order to operate RET control, the transparent caps covering the tilt adjustment indicators must be engaged and locked. Do not cut them from the antenna.
Do not install the antenna with the connectors facing upward.

Mounting Options	Part Number	Image	Fits Pipe Diameter	Weight
------------------	-------------	-------	--------------------	--------

All mounting bracket kits are ordered separately unless otherwise indicated. Select from the options listed below.

3-Point Mounting and Downtilt Bracket Kit	36210008		40-115 mm 1.6-4.5 in	6.9 kg 15.2 lbs
---	----------	--	----------------------	-----------------

Bottom View of Antenna



Tilt indicators covered by transparent caps. Manual adjustment is accessed by removing the caps. Knob colors are the same as the connectors.

Location of the MDCU for RET Control

 In order to operate RET control, the transparent caps covering the tilt adjustment indicators must be engaged and locked. Do not cut them from the antenna.

Date Received:

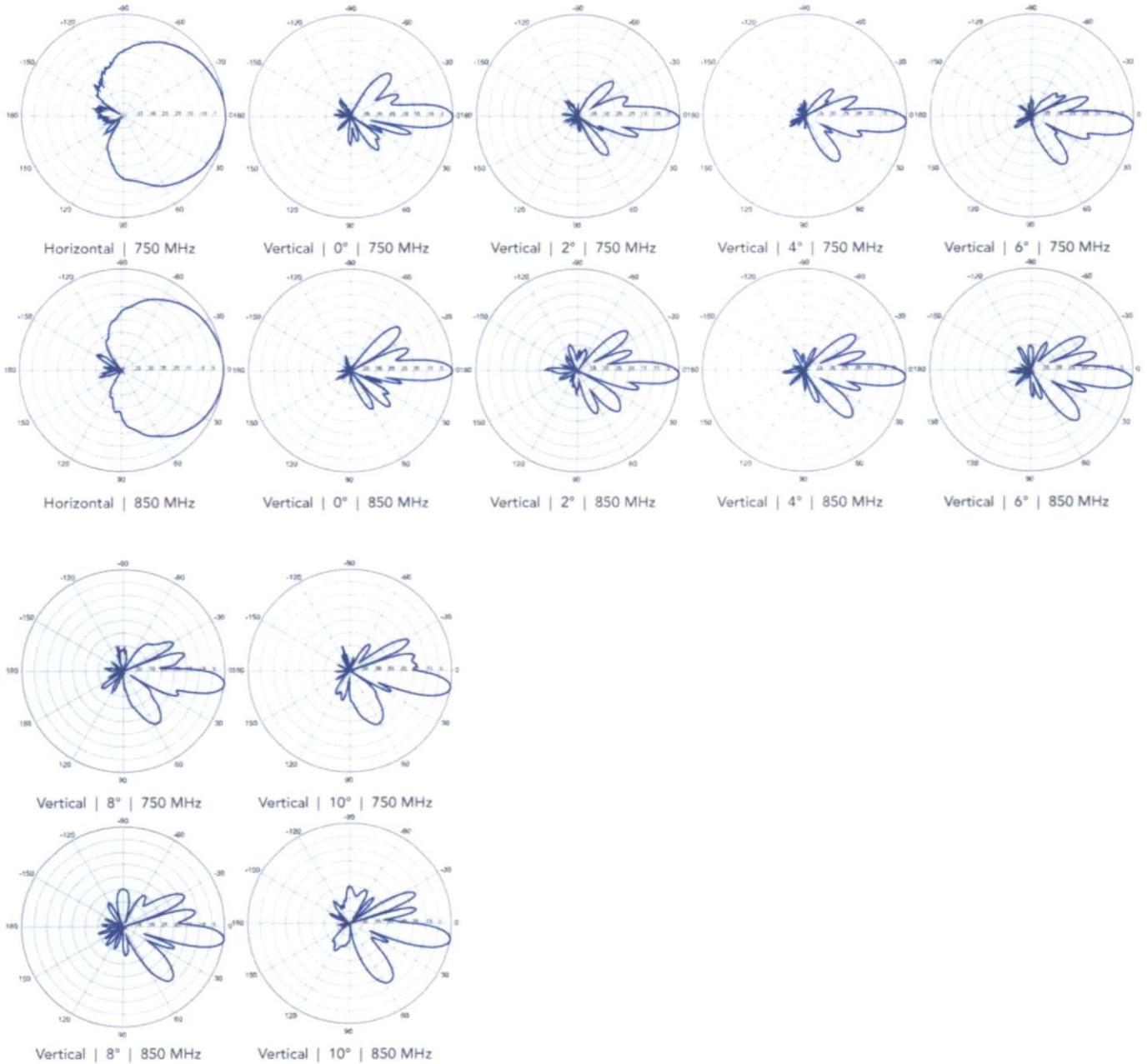
MAY 01 2015

Original Submittal 

Quoted performance parameters are provided to offer typical or range values only and may vary as a result of normal manufacturing and operational conditions. Extreme operational conditions and/or stress on structural supports is beyond our control. Such conditions may result in damage to this product. Improvements to product may be made without notice.

HT4C6318x000

Twin Band | Panel Antenna | 2x X-Pol | 63° / 63° | 18.0 / 18.0 dBi | Variable Tilt



Date Received:

MAY 01 2015

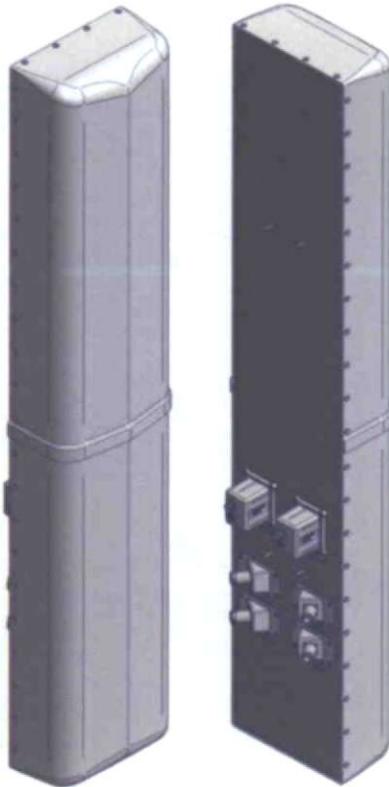
Original Submittal SN

Quoted performance parameters are provided to offer typical or range values only and may vary as a result of normal manufacturing and operational conditions. Extreme operational conditions and/or stress on structural supports is beyond our control. Such conditions may result in damage to this product. Improvements to product may be made without notice.



QAP-660-V

Quad-Port, 1710-2170 MHz, 72", 60° H-Beam
RET/MET



- Broad Band Radiator
- Macro Cell High Gain antenna
- Suitable for LTE/CDMA/UMTS/GSM
- AISG v2.0 RET or Manual (MET) Tilt Control

Electrical Specifications

Frequency Band, MHz	1710-1880	1850-1990	1920-2170
Horizontal Beamwidth, 3dB points	61°	56°	57°
Gain, dBi	17.9	17.7	17.6
Vertical Beamwidth, 3dB points	6.0°	5.7°	5.5°
Front-to-Back at 180°, dB	>30		
Upper Sidelobe Suppression, Typical, dB	<-18		
Polarization	+/-45°		
Electrical Downtilt	0°-6° or 4°-10°		
VSWR/Return Loss, dB, Maximum	1.5:1/-14.0		
Isolation Between Ports, dB, Mimimum	>30		
Intermodulation (2x20w), IM3, dBc, Maximum	-150		
Impedance, ohms	50		
Maximum Power Per Connector, CW	250		

Date Received:

MAY 01 2015

All Specifications are subject to change.

Refer to www.cssantenna.com for the most current information

www.cssantenna.com

410-612-0080

customerservice@cssantenna.com

Attachment 3, Page 101 of 162 Original Submittal 

Page 1 of 8

2/16/2012



QAP-660-V

Quad-Port, 1710-2170 MHz, 72", 60° H-Beam
RET/MET

Mechanical Specifications

Dimensions, Length/Width/Depth	72/12.5/7.1 in (1829/318/180 mm)
Connector (Quantity) Type	(4) 7-16 DIN Female
Connector Torque	220-265 lbf-in (23-30 N-m)
Connector Location	Back
Antenna Weight	35.0 lb (15.9 kg)
Bracket Weight	13.2 lb (6.0 kg)
Standard Bracket Kit	Included, Part # 919011
Mechanical Downtilt Range	0-12°
Radome Material	High Strength Luran, UV Stabilized, ASTM D1925
Wind Survival	150 mph (241 km/h)
Front Wind Load	175.3 lbf (779.6 N) @100mph
Equivalent Flat Plate	3.50 sq-ft (c=2) @ 100mph

RET Information

Model	CSS-RET-200
Mounting Location	Rear of Antenna
Weight	1.2 lb (0.54 kg)
Communication Standard	AISG 2.0
Control System	CSS-PCU-220



Order Information

Model	Description
QAP-660-VR0	Quad-Pol, antenna with motor to adjust remote electrical tilt (RET) range of 0-6°
QAP-660-VR4	Quad-Pol, antenna with motor to adjust remote electrical tilt (RET) range of 4-10°
QAP-660-VM0	Quad-Pol, antenna with manual adjust wheel for electrical tilt (MET) range of 0-6°
QAP-660-VM4	Quad-Pol, antenna with manual adjust wheel for electrical tilt (MET) range of 4-10°

Date Received:

www.cssantenna.com

410-612-0080

All Specifications are subject to change.

Refer to www.cssantenna.com for the most current information

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Page 2 of 8

2/16/2012

Attachment 3, Page 102 of 162

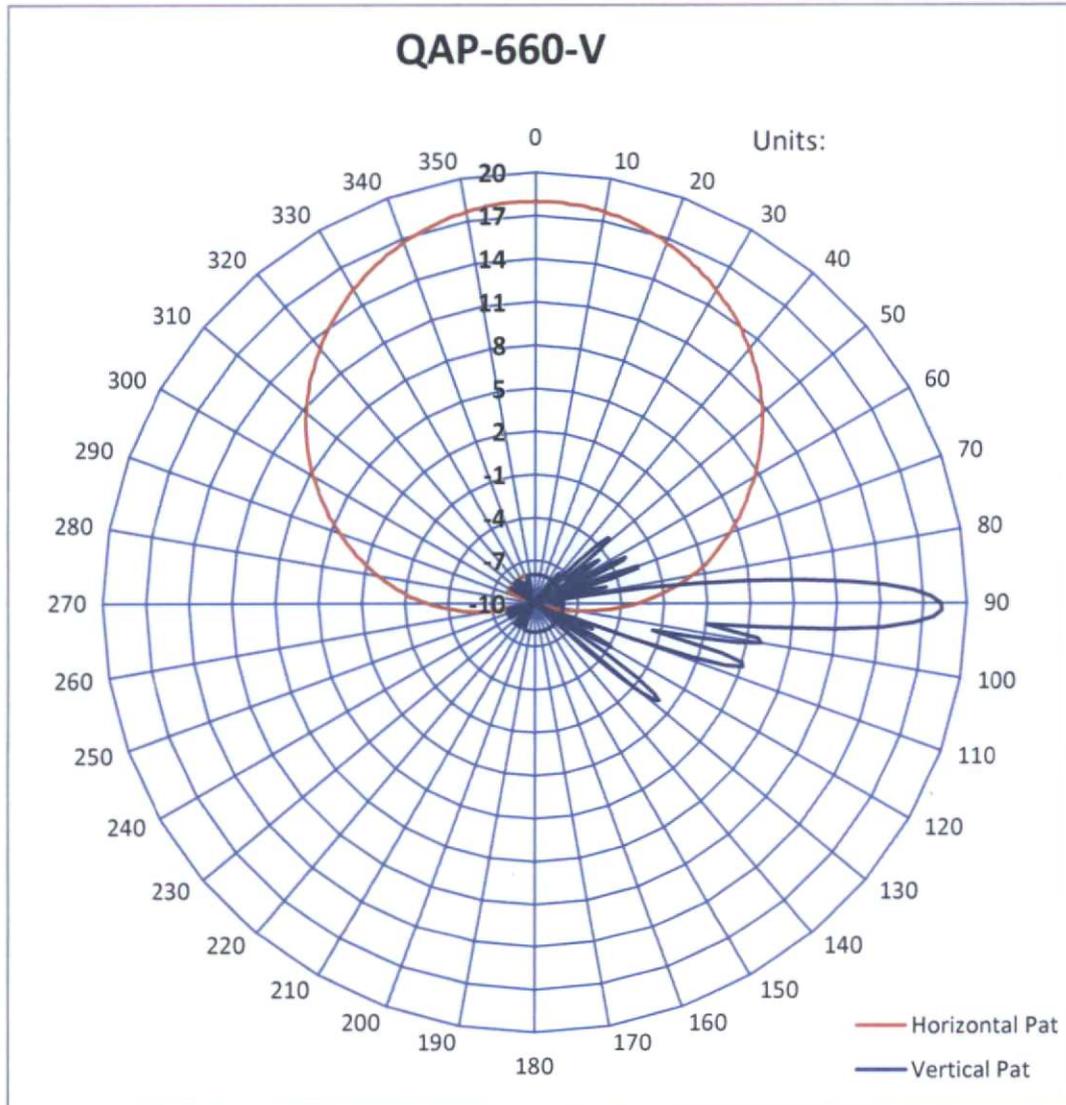
Original Submittal



QAP-660-V

Quad-Port, 1710-2170 MHz, 72", 60° H-Beam
RET/MET

Typical Pattern @ 1710-1850 MHz



Center = -10dB, with 3 dB/radial division and 10° angular division

Date Received:

www.cssantenna.com

410-612-0080

All Specifications are subject to change.

Refer to www.cssantenna.com for the most current information

customerservice@cssantenna.com

MAY 01 2015

Page 3 of 8

2/16/2012

Attachment 3, Page 103 of 162

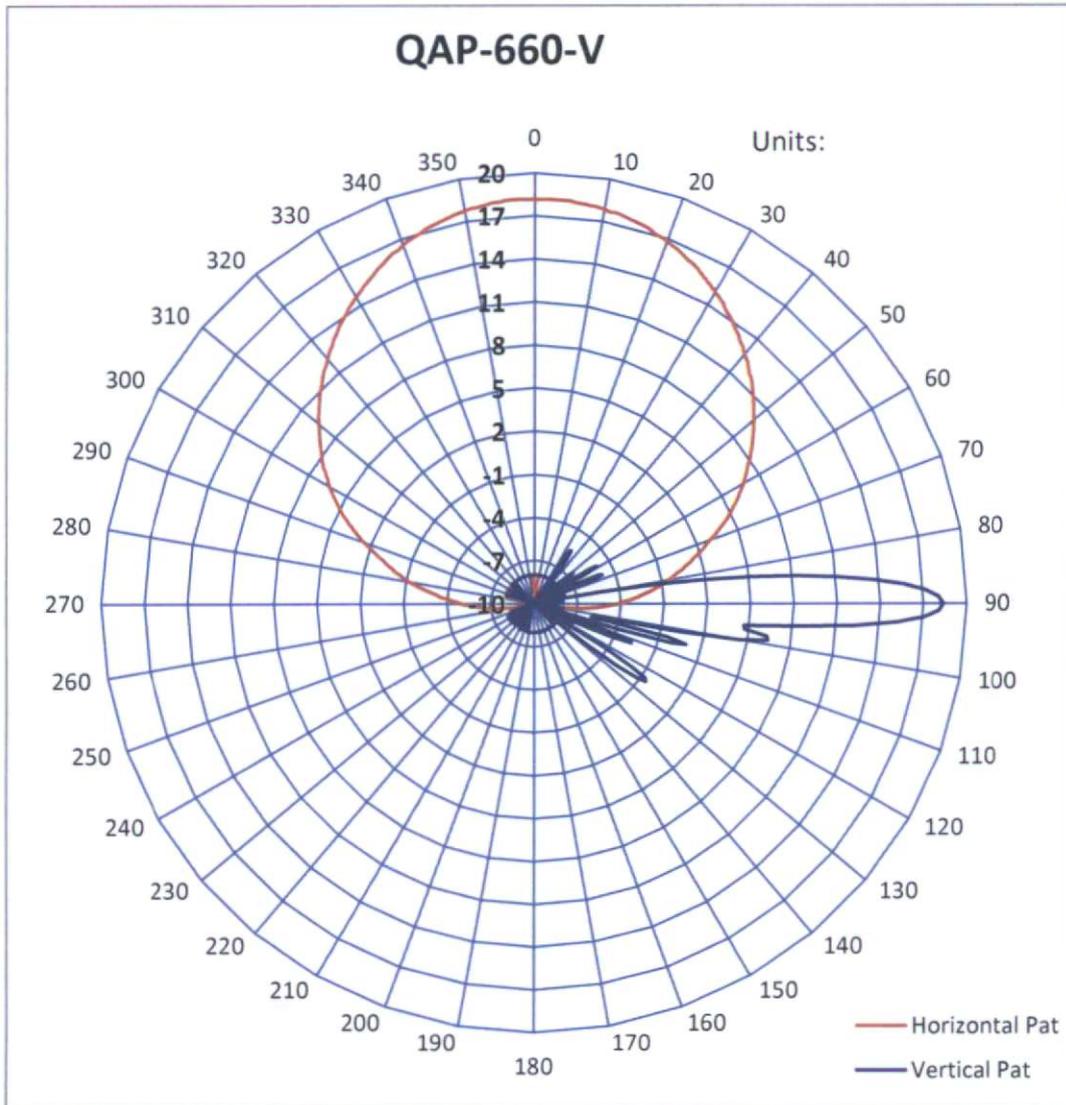
Original Submittal



QAP-660-V

Quad-Port, 1710-2170 MHz, 72", 60° H-Beam
RET/MET

Typical Pattern @ 1850-1990 MHz



Center = -10dB, with 3 dB/radial division and 10° angular division

www.cssantenna.com
410-612-0080

Date Received:

MAY 01 2015

All Specifications are subject to change.
Refer to www.cssantenna.com for the most current information

customerservice@cssantenna.com

Page 4 of 8
2/16/2012

Attachment 3, Page 104 of 162

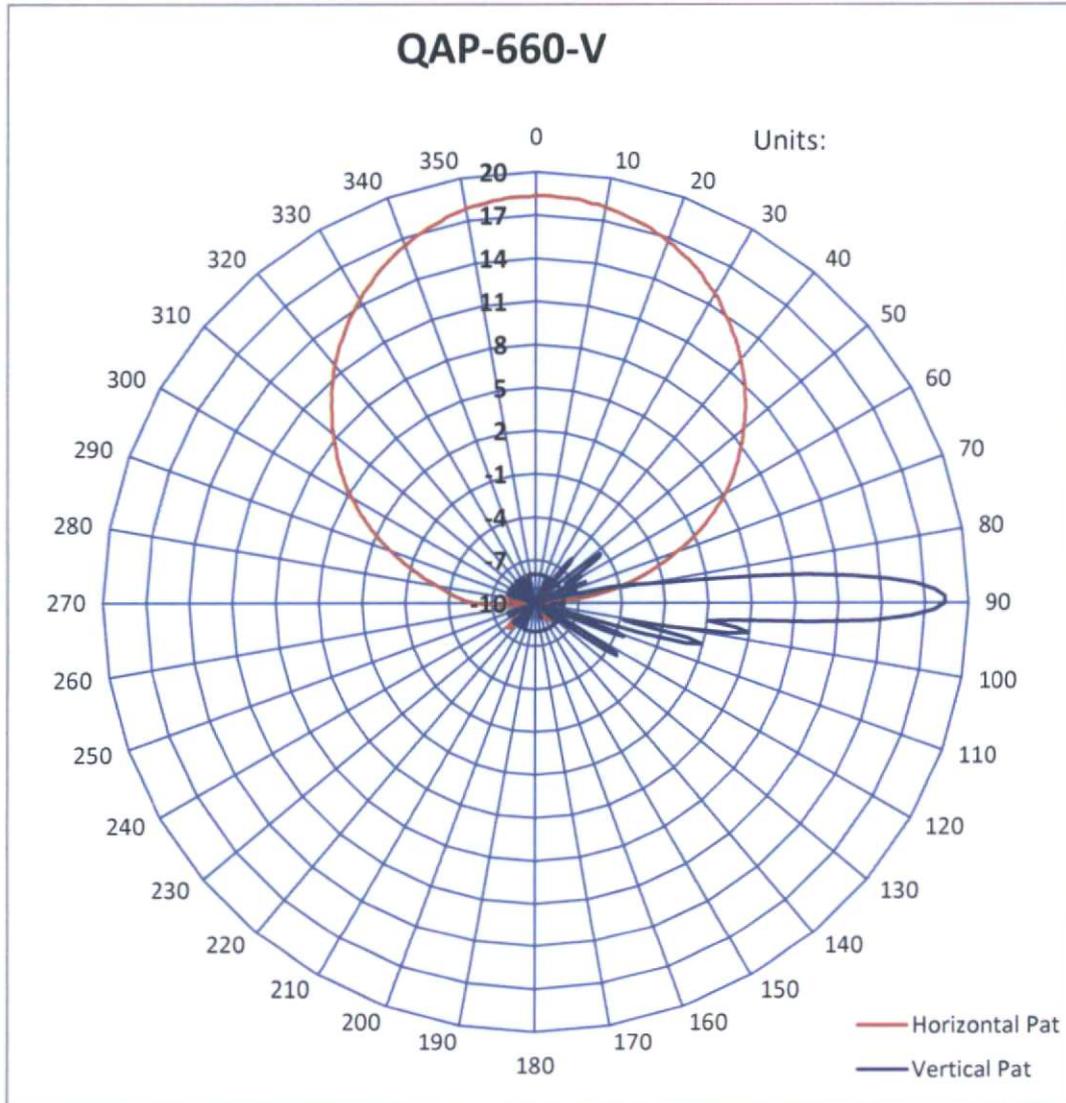
Original Submittal



QAP-660-V

Quad-Port, 1710-2170 MHz, 72", 60° H-Beam
RET/MET

Typical Pattern @ 1990-2170 MHz



Center = -10dB, with 3 dB/radial division and 10° angular division

Date Received:

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410-612-0080

MAY 01 2015

Page 5 of 8

All Specifications are subject to change.

Refer to www.cssantenna.com for the most current information

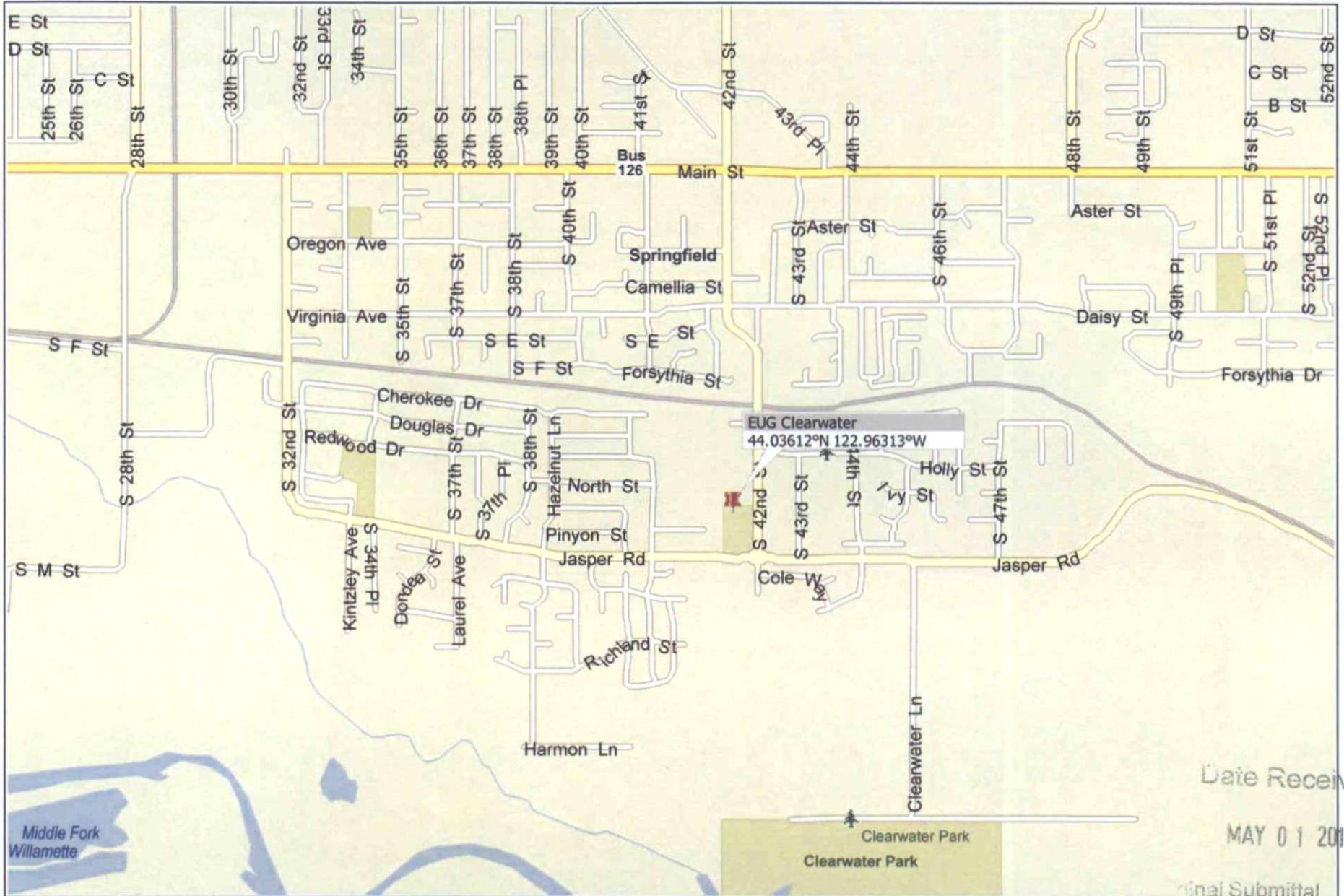
customerservice@cssantenna.com

2/16/2012

Attachment 3, Page 105 of 162

Original Submittal *fm*

EUG Clearwater



Date Received:

MAY 01 2015

Original Submittal

SM

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EXHIBIT H

FCC Licenses

Date Received:

MAY 01 2015

Cellular License - KNKA465 - Verizon Wireless (VAW) LLC

Call Sign	KNKA465	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular
Market			
Market	CMA135 - Eugene-Springfield, OR	Channel Block	B
Submarket	0	Phase	2
Dates			
Grant	02/05/2008	Expiration	01/22/2018
Effective	10/18/2013	Cancellation	
Five Year Buildout Date			
02/04/1993			
Control Points			
2	500 West Dove Road, TARRANT, Southlake, TX P: (800)264-6620		
Licensee			
FRN	0003800307	Type	Limited Liability Company
Licensee			
Verizon Wireless (VAW) LLC 1120 Sanctuary Pkwy, #150 GASASREG Alpharetta, GA 30009-7630 ATTN Regulatory		P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com	
Contact			
Verizon Wireless Licensing Manager 1120 Sanctuary Pkwy, #150 GASASREG Alpharetta, GA 30009-7630 ATTN Regulatory		P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com	
Ownership and Qualifications			
Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes
Alien Ownership			
Is the applicant a foreign government or the representative of any foreign government?		No	
Is the applicant an alien or the representative of an alien?		No	
Is the applicant a corporation organized under the laws of any foreign government?		No	
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their		No	

Date Received:

representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?	
Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country?	Yes
If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?	Yes
Basic Qualifications	
The Applicant answered "No" to each of the Basic Qualification questions.	
Demographics	
Race	
Ethnicity	Gender

Date Received:

MAY 01 2015

PCS Broadband License - KNLH664 - Verizon Wireless (VAW) LLC

Call Sign	KNLH664	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular
Market			
Market	BTA133 - Eugene-Springfield, OR	Channel Block	E
Submarket	0	Associated Frequencies (MHz)	001885.00000000- 001890.00000000 001965.00000000- 001970.00000000
Dates			
Grant	07/23/2007	Expiration	06/26/2017
Effective	02/18/2011	Cancellation	
Buildout Deadlines			
1st	06/26/2002	2nd	
Notification Dates			
1st	06/27/2002	2nd	
Licensee			
FRN	0003800307	Type	Limited Liability Company
Licensee			
Verizon Wireless (VAW) LLC 1120 Sanctuary Pkwy, #150 GASASREG Alpharetta, GA 30009-7630 ATTN Regulatory		P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com	
Contact			
Verizon Wireless Licensing - Manager 1120 Sanctuary Pkwy, #150 GASASREG Alpharetta, GA 30009-7630 ATTN Regulatory		P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com	
Ownership and Qualifications			
Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes
Alien Ownership			
Is the applicant a foreign government or the representative of any foreign government?	No		
Is the applicant an alien or the representative of an alien?	No		
Is the applicant a corporation organized under the laws of any	No		

Date Received:

MAY 01 2015

foreign government?	
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?	No
Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country?	Yes
The Alien Ruling question is not answered.	
Basic Qualifications	
The Applicant answered "No" to each of the Basic Qualification questions.	
Tribal Land Bidding Credits	
This license did not have tribal land bidding credits.	
Demographics	
Race	
Ethnicity	Gender

Date Received:

MAY 01 2015

Original Submittal SM

EXHIBIT I

Co-location Agreement

Date Received:

MAY 01 2015



March 26, 2015

City of Springfield
Development Services Department
225 5th St
Springfield, OR 97477

RE: CO-LOCATION STATEMENT
Site: EUG Clearwater
Address: 4164 Jasper Road, Springfield, OR

To Whom It May Concern:

Verizon Wireless proposes to install a new monopine wireless communication facility at 4164 Jasper Road, Springfield, Oregon.

Per Springfield Development Code Section 4.3-145(G)(2)(f,) the applicant is willing to allow other carriers to co-locate on the proposed facilities whenever technically and economically feasible and aesthetically desirable.

Sincerely,

Kelly M Lea 3/26/15
Name: Date:
Title: Real Estate
Specialist

Date Received:

MAY 01 2015

EXHIBIT J

Lease Excerpt

Date Received:

MAY 01 2015

DRAFT

LAND LEASE AGREEMENT

This Agreement, made this ____ day of _____, 201__ (the "Effective Date") between Jasper Junction, LLC, an Oregon limited liability company, with its principal offices located at 85831 Parklane Circle, Pleasant Hill, OR 97455, hereinafter designated LESSOR and Verizon Wireless (VAW) LLC d/b/a Verizon Wireless, with its principal office located at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 (telephone number 866-862-4404), hereinafter designated LESSEE. The LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party".

1. PREMISES. LESSOR hereby leases to LESSEE a portion of that certain parcel of property (the entirety of LESSOR's property is referred to hereinafter as the Property), located at 4164 Jasper Road, Springfield, County of Lane, State of Oregon, and being described as a 40' by 40' parcel containing 1,600 square feet (the "Land Space"), together with the non-exclusive right (the "Rights of Way") for ingress and egress, seven (7) days a week twenty-four (24) hours a day, on foot or motor vehicle, including trucks over or along a Twenty (20') foot wide right-of-way extending from the nearest public right-of-way, S. 42nd Street, to the Land Space, and for the installation and maintenance of utility wires, poles, cables, conduits, and pipes under, the right of way, said Land Space and Rights of Way (hereinafter collectively referred to as the "Premises") being substantially as described herein in Exhibit "A" attached hereto and made a part hereof.

In the event any public utility is unable to use the Rights of Way, the LESSOR hereby agrees to grant an additional right-of-way either to the LESSEE or to the public utility at no cost to the LESSEE.

2. SURVEY. LESSOR also hereby grants to LESSEE the right to survey the Property and the Premises, and said survey shall then become Exhibit "B" which shall be attached hereto and made a part hereof, and shall control in the event of boundary and access discrepancies between it and Exhibit "A". Cost for such work shall be borne by the LESSEE.

3. TERM; RENTAL.

a. This Agreement shall be effective as of the date of execution by both Parties, provided, however, the initial term shall be for ten (10) years and shall commence on the Commencement Date (as hereinafter defined) at which time rental payments for each year of the first (1st) five (5) years of the initial term shall commence and be due at a total annual rental of [REDACTED] to be paid in equal monthly installments on the first day of the month, in advance, to LESSOR or to such other person, firm or place as LESSOR may, from time to time, designate in writing at least thirty (30) days in advance of any rental payment date by notice given in accordance with Paragraph 23 below. The annual rental for each year of the second (2nd) five (5) years of the initial term shall be [REDACTED]. The Agreement shall commence upon the earlier of (1) the first day of the month following 90 days after the Effective Date or (2) the date LESSEE commences installation of the equipment on the Premises. In the event the date LESSEE

Date Received:

MAY 01 2015

DRAFT

commences installation of the equipment on the Premises falls between the 1st and 15th of the month, the Agreement shall commence on the 1st of that month and if the date installation commences falls between the 16th and 31st of the month, then the Agreement shall commence on the 1st day of the following month (either the "Commencement Date"). LESSOR and LESSEE agree that they shall acknowledge in writing the Commencement Date. LESSOR and LESSEE acknowledge and agree that initial rental payment(s) shall not actually be sent by LESSEE until thirty (30) days after a written acknowledgement confirming the Commencement Date. By way of illustration of the preceding sentence, if the Commencement Date is January 1 and the written acknowledgement confirming the Commencement Date is dated January 14, LESSEE shall send to the LESSOR the rental payments for January 1 and February 1 by February 13.

Upon agreement of the Parties, LESSEE may pay rent by electronic funds transfer and in such event, LESSOR agrees to provide to LESSEE bank routing information for such purpose upon request of LESSEE.

b. LESSOR hereby agrees to provide to LESSEE certain documentation (the "Rental Documentation") evidencing LESSOR's interest in, and right to receive payments under, this Agreement, including without limitation: (i) documentation, acceptable to LESSEE in LESSEE's reasonable discretion, evidencing LESSOR's good and sufficient title to and/or interest in the Property and right to receive rental payments and other benefits hereunder; (ii) a complete and fully executed Internal Revenue Service Form W-9, or equivalent, in a form acceptable to LESSEE, for any party to whom rental payments are to be made pursuant to this Agreement; and (iii) other documentation requested by LESSEE in LESSEE's reasonable discretion. From time to time during the Term of this Agreement and within thirty (30) days of a written request from LESSEE, LESSOR agrees to provide updated Rental Documentation in a form reasonably acceptable to LESSEE. The Rental Documentation shall be provided to LESSEE in accordance with the provisions of and at the address given in Paragraph 23. Delivery of Rental Documentation to LESSEE shall be a prerequisite for the payment of any rent by LESSEE and notwithstanding anything to the contrary herein, LESSEE shall have no obligation to make any rental payments until Rental Documentation has been supplied to LESSEE as provided herein.

Within fifteen (15) days of obtaining an interest in the Property or this Agreement, any assignee(s), transferee(s) or other successor(s) in interest of LESSOR shall provide to LESSEE Rental Documentation in the manner set forth in the preceding paragraph. From time to time during the Term of this Agreement and within thirty (30) days of a written request from LESSEE, any assignee(s) or transferee(s) of LESSOR agrees to provide updated Rental Documentation in a form reasonably acceptable to LESSEE. Delivery of Rental Documentation to LESSEE by any assignee(s), transferee(s) or other successor(s) in interest of LESSOR shall be a prerequisite for the payment of any rent by LESSEE to such party and notwithstanding anything to the contrary herein, LESSEE shall have no obligation to make any rental payments to any assignee(s), transferee(s) or other successor(s) in interest of LESSOR until Rental Documentation has been supplied to LESSEE as provided herein.

DRAFT

4. EXTENSIONS. This Agreement shall automatically be extended for three (3) additional five (5) year terms unless LESSEE terminates it at the end of the then current term by giving LESSOR written notice of the intent to terminate at least six (6) months prior to the end of the then current term. The initial term and all extensions shall be collectively referred to herein as the "Term".

5. EXTENSION RENTALS. The annual rental for the first (1st) five (5) year extension term shall be increased to [REDACTED] the annual rental for the second (2nd) five (5) year extension term shall be increased to [REDACTED] and the annual rental for the third (3rd) five (5) year extension term shall be increased to [REDACTED]

6. [INTENTIONALLY DELETED].

7. TAXES. LESSEE shall pay its pro rata share of real property taxes assessed against the Land Space based upon the area of the Land Space as compared to the total area of land that is subject to the tax assessment. LESSEE shall also pay the real estate taxes assessed against any improvement constructed by LESSEE on the Land Space. If such improvements are not separately assessed on the tax statement, LESSEE shall reasonably allocated the taxes between all improvements included in the tax statement, based upon the respective value of such improvements. LESSEE shall also pay any sales tax imposed on the rent (except to the extent that LESSEE is or may become exempt from the payment of sales tax in the jurisdiction in which the Property is located). LESSOR and LESSEE shall each be responsible for the payment of any taxes, levies, assessments and other charges imposed including franchise and similar taxes imposed upon the business conducted by LESSOR or LESSEE at the Property. Notwithstanding the foregoing, LESSEE shall not have the obligation to pay any tax, assessment, or charge that LESSEE is disputing in good faith in appropriate proceedings prior to a final determination that such tax is properly assessed provided that no lien attaches to the Property. Nothing in this Paragraph shall be construed as making LESSEE liable for any portion of LESSOR's income taxes in connection with any Property or otherwise. Except as set forth in this Paragraph, LESSOR shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges owed on the Property and shall do so prior to the imposition of any lien on the Property.

LESSEE shall have the right, at its sole option and at its sole cost and expense, to appeal, challenge or seek modification of any tax assessment or billing for which LESSEE is wholly or partly responsible for payment. LESSOR shall reasonably cooperate with LESSEE at LESSEE's expense in filing, prosecuting and perfecting any appeal or challenge to taxes as set forth in the preceding sentence, including but not limited to, executing any consent, appeal or other similar document. In the event that as a result of any appeal or challenge by LESSEE, there is a reduction, credit or repayment received by the LESSOR for any taxes previously paid by LESSEE, LESSOR agrees to promptly reimburse to LESSEE the amount of said reduction, credit or repayment. In the event that LESSEE does not have the standing rights to pursue a good faith and reasonable dispute of any taxes under this paragraph, LESSOR will pursue such dispute at LESSEE's sole cost and expense upon written request of LESSEE.

EXHIBIT K

Title Report

Date Received:

MAY 01 2015

Original Submittal SM



0289821

STATUS OF RECORD TITLE REPORT

SMARTLINK LLC
1997 ANNAPOLIS EXCHANGE PKWY, SUITE 260
ANNAPOLIS, MD 21401

Date: APRIL 17, 2015
Our No: CT-0289821
Ref. No.: 1-EUG CLEARWATER
Charge: \$400.00

As requested, Cascade Title Co. has searched our tract indices as to the following described real property:

Beginning at a point 27.58 chains South of the Northeast corner of the John R. Magness Donation Land Claim No. 50, Township 18 South, Range 2 West of the Willamette Meridian; thence South along the East side of said Claim, 246.41 feet to the true point of beginning of the description; thence West 549.78 feet; thence South 545.59 feet to the middle of County Road; thence East 549.78 feet; thence North 545.59 feet to the true point of beginning, all in Lane County, Oregon.

EXCEPT THEREFROM that parcel conveyed to the City of Springfield by deed recorded July 12, 2005, Reception No. 2005-051442, Lane County Deeds and Records, in Lane County, Oregon.

ALSO EXCEPT THEREFROM that parcel conveyed to the City of Springfield by deed recorded October 12, 2006, Reception No. 2006-073983, Lane County Deeds and Records, in Lane County, Oregon.

and as of: APRIL 08, 2015 at 8:00 A.M., we find the following:

Vestee:

JASPER JUNCTION, LLC
AN OREGON LIMITED LIABILITY COMPANY

Said property is subject to the following on record matters:

- 1. Taxes, Account No. 0562791, Assessor's Map No. 18 02 05 2 3, #100, Code 19-00, 2014-2015, in the amount of \$3,235.06, DUE PLUS INTEREST.
2. Rights of the public in and to that portion lying within streets, roads and highways.
3. Easements for public roads over a portion of said land, including the terms and provisions thereof, in favor of Lane County, as set forth in instruments recorded February 29, 1968, Reception Nos. 15787 and 15788, Lane County Oregon Deed Records.
4. Agreement with City of Springfield, including the terms and provisions thereof for street improvements along Jasper Road, recorded May 6, 1988, Reception No. 8817793, Lane County Official Records.

MAIN OFFICE

811 WILLAMETTE ST. * EUGENE, OREGON 97401
PH: (541) 687-2233 * FAX: (541)485-0307
E-MAIL: INFO@CASCADETITLE.COM

FLORENCE OFFICE

715 HWY 101 * FLORENCE, OREGON 97439
PH: (541) 997-8417 * FAX: (541)997-8246
E-MAIL: FLORENCE@CASCADETITLE.COM

MAY 01 2015

Attachment 3, Page 119 of 162

Original Submittal [Signature]

5. Agreement with City of Springfield, including the terms and provisions thereof, for street improvements along South 42nd Street, recorded May 6, 1988, Reception No. 8817794, Lane County Official Records.
6. Public utility easement, including the terms and provisions thereof, granted to the City of Springfield by instrument recorded March 4, 1999, Reception No. 99019915 and corrected by instrument recorded March 5, 1999, Reception No. 99020274, Lane County Official Records.
7. Deed of Trust, including the terms and provisions thereof, executed by Jasper Junction LLC, to Cascade Title Co., Trustee, for the benefit of Berjac of Oregon, Beneficiary, dated November 21, 2005, recorded November 22, 2005, Reception No. 2005-093032, Lane County Deeds and Records, to secure payment of a note for \$763,000.00.
8. Easement for Public Road, as disclosed in Bargain and Sale Deed, including the terms and provisions thereof, between Max Jordan, Jasper Junction, LLC, and the City of Springfield, Oregon, recorded October 12, 2006, Reception No. 2006-073983, Lane County Deeds and Records.

This report is to be utilized for information only. This report is not to be used as a basis for transferring, encumbering or foreclosing the real property described.

The liability of Cascade Title Co. is limited to the addressee and shall not exceed the premium paid hereunder.

CASCADE TITLE CO., by:

ab/Title Officer: TYLER YORK

Date Received:

Attachment 3, Page 120 of 162 MAY 01 2015

Original Submittal

SM

15787

DEDICATION
OF PUBLIC ROAD EASEMENT

DONALD E. COOPER

grants and dedicates to LANE COUNTY, a political subdivision of the State of Oregon,
a public road easement on and over the following described property:

A parcel of land lying in the Northwest one-quarter of Section 5,
Township 18 South, Range 2 West, Willamette Meridian, and being a portion
of the tract of land conveyed to Donald E. Cooper by that certain Agreement
recorded March 21, 1966, Recorder's Reception No. 40732, on Reel 284-D,
Lane County Oregon Deed Records, and being more particularly described
as follows:

Beginning at a point 39.58 chains South and 40.0 feet West of the
Northeast corner of the John R. Magness Donation Land Claim No. 50, in
Township 18 South, Range 2 West, Willamette Meridian, said point being
on the centerline of County Road No. 49 (Jasper Road); run thence West
509.78 feet; thence North 40.0 feet; thence East 509.78 feet; thence South
40.0 feet to the point of beginning in Lane County, Oregon.

It being the intention herein to widen County Road No. 49 insofar
as it abuts the above described real property, to 40 feet in width North
of the centerline of said road.

Said parcel being hereby forever dedicated to the use of the public for
road purposes and granting a public road easement.

There is no consideration for this dedication.

Signed this 27th day of February, 1966.

Donald E. Cooper

STATE OF OREGON)
) ss.
County of Lane)

On this 27th day of February, 1966, personally appeared the above named
Donald E. Cooper
and acknowledged the foregoing instrument to be his voluntary act. Before me:

NOTARY
PUBLIC

Richard Hesther
Notary Public for Oregon
My Commission Expires: 5-25-70

Date Received:

MAY 01 2015

9M

U 3117

1442

State of Oregon,
County of Lane

I, INA RANDOLPH, Director of the
Department of Records and Elections,
do hereby certify that the within instrument was
received for record at

1968 FEB 29 AM 10 43 5

Reel 381-R

Lane County OFFICIAL Records.

INA RANDOLPH, Director of the
Department of Records & Elections.

By [Signature]
Deputy
C29-083-05

[Signature]

Date Received:

MAY 01 2015

Original Submittal [Signature]

15788

DEDICATION
OF PUBLIC ROAD EASEMENT

DONALD E. COOPER

grants and dedicates to LANE COUNTY, a political subdivision of the State of Oregon,
a public road easement on and over the following described property:

A parcel of land lying in the Northwest one-quarter of Section 5,
Township 18 South, Range 2 West, Willamette Meridian, and being a portion
of the tract of land conveyed to Donald E. Cooper by that certain Agreement
recorded March 21, 1966, Recorder's Reception No. 40732, on Reel 284-D,
Lane County Oregon Deed Records, and being more particularly described
as follows:

Beginning at a point 234.39 feet South of a point 27.58 chains South
of the Northeast corner of the John R. Magness Donation Land Claim No. 50,
in Township 18 South, Range 2 West, Willamette Meridian, said point being
on the centerline of County Road No. 287 (South 42nd Street); run thence
South 557.61 feet; thence West 40 feet; thence North 557.61 feet; thence
East 40 feet to the point of beginning in Lane County Oregon.

It being the intention herein to widen County Road No. 287 insofar
as it abuts the above described real property, to 40 feet in width West
of the centerline of said road.

Said parcel being hereby forever dedicated to the use of the public for
road purposes and granting a public road easement.

There is no consideration for this dedication.

Signed this 27th day of February, 19 68.

Donald E. Cooper

STATE OF OREGON)
) ss.
County of Lane)

On February 27, 1968, personally appeared the above named
Donald E. Cooper
and acknowledged the foregoing instrument to be his voluntary act. Before me:

BLI

Julia Heather

Notary Public for Oregon
My Commission Expires: 8-25-70

Date Received:

MAY 01 2015

4

1-77

State of Oregon,
County of Lane

I, Ina Randolph, Director of the
Department of Records and Elections,
in and for the said County, do hereby
certify that the within instrument was
received for record at

1968 FEB 29 AM 10 43.7

Reel 381-R

Lane County OFFICIAL Records.

INA RANDOLPH, Director of the
Department of Records & Elections.

By *[Signature]*
Deputy

C29-083-05

[Signature]

Date Received:

MAY 01 2015

Original Submittal *[Signature]*

8817793

IMPROVEMENT AGREEMENT

IN CONSIDERATION of the covenants herein recited, the City of Springfield, hereinafter referred to as City, and Hoedads, Inc. hereinafter referred to as Applicant, do covenant and agree as follows:

WHEREAS Applicant desires Development Approval from City; and

WHEREAS, any future development within City or its Urban Growth Boundary will cause both an immediate and long-term demand on the various public facilities of City;

NOW THEREFORE, Applicant and City agree to the following schedule of public facility improvements and respective cost assumption policy:

STREET IMPROVEMENTS along the frontage of Jasper Road to include: [x] surface paving; [x] storm sewers; [x] sanitary sewers; [x] curbs; [x] gutters; [x] planter strips; [x] street trees; [x] street lights; [x] sidewalks.

TRAFFIC SIGNALS at the intersection of _____

OTHER IMPROVEMENTS: A 5' landscape strip to be installed behind the sidewalk.

LEGAL DESCRIPTION: (Place here or see Attachment A)

Beginning at a point 27.58 chains South of the Northeast corner of the John R. Magness Donation Land Claim No. 50, Township 18 South, Range 2 West of the Willamette Meridian; thence South along the East side of said Claim, 246.4 feet to the True Point of Beginning of this description; thence West 549.78 feet; thence South 545.59 feet to the middle of County Road; thence East 549.78 feet; thence North 545.59 feet to the True Point of Beginning, all in Lane County, Oregon.

ADDITIONAL INFORMATION: 18-02-05-23 00100 Assessor's Map# Tax Lot# 4164 Jasper Road Property Address

IT IS FURTHER UNDERSTOOD that Applicant agrees to sign any and all waivers, petitions, consents and all other documents necessary to obtain the above listed improvements under any improvement act or proceeding of the State of Oregon, Lane County, or City as may be proposed or adopted and to waive all right to remonstrate against such improvements, but not the right to protest the amount or manner of spreading the assessment thereof, if the same shall appear to Applicant to bear inequitably or unfairly upon said property of Applicant;

NOW THEREFORE, City agrees that Applicant's execution and performance of the terms of this Agreement will be deemed to be in compliance with City's policy pertaining to improvement requirements, and if Applicant complies in every respect with all other applicable laws of the State of Oregon, Lane County, and City, the said Applicant shall be entitled to Development Approval; and

IN ADDITION, it is the intention of the parties hereto that the covenants herein contained shall run with the land herein described, and shall be binding upon the heirs, executors, assigns, administrators, and successors of the parties hereto, and shall be construed to be a benefit and a burden upon the property herein described. This Agreement shall be recorded in the Lane County Deed Records.

WHEREFORE, the parties have set their hand and seal this 21 day of April 1988.

CITY OF SPRINGFIELD 225 Fifth Street Springfield, Oregon 97477

3664A001 05/04/88 REC 11 00005**

By Dan E. Brown Director of Public Works

By [Signature] Applicant

STATE OF OREGON)) ss. COUNTY OF LANE)

By David McCloskey Applicant

On this 21 day of April, 1988, there personally appeared before me and signed the above document.

[Signature] NOTARY PUBLIC

My Commission Expires: 4-18-92

Date Received:

MAY 01 2015

8817793

IN WITNESS WHEREOF, the grantors above named have hereunto set their hands and seals this 21 day of April, 19 88.

_____(SEAL) _____(SEAL)
_____(SEAL) _____(SEAL)

STATE OF OREGON

County of Lane } ss. On this 21 day of April, 19 88,

before me appeared Bruce Maederer and David McClosky both to me personally known, who being duly sworn, did say that he, the said Bruce Maederer is the company's President, and he, the said David McClosky is the company's Secretary of The Hoedads Inc. the within named Corporation, and that the seal affixed to said instrument is the Corporate seal of said Corporation, and that the said instrument was signed and sealed in behalf of said Corporation by authority of its Board of Directors, and Bruce Maederer and David McClosky acknowledge said instrument to be the free act and deed of said Corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

[Signature]
Notary Public for Oregon
my commission expires 4-18-92

8817793

State of Oregon,
County of Lane-ss.
I, the County Clerk, in and for the said County, do hereby certify that the within instrument was received for record at

Recd 1512R

Lane County OFFICIAL Records,
Lane County Clerk

By: *[Signature]*
County Clerk

Date Received:
MAY 01 2015

8817794

IMPROVEMENT AGREEMENT

IN CONSIDERATION of the covenants herein recited, the City of Springfield, hereinafter referred to as City, and Hoedads, Inc., hereinafter referred to as Applicant, do covenant and agree as follows:

WHEREAS Applicant desires Development Approval from City; and

WHEREAS, any future development within City or its Urban Growth Boundary will cause both an immediate and long-term demand on the various public facilities of City;

NOW THEREFORE, Applicant and City agree to the following schedule of public facility improvements and respective cost assumption policy:

STREET IMPROVEMENTS along the frontage of South 42nd Street to include: surface paving; storm sewers; sanitary sewers; curbs; gutters; planter strips; street trees; street lights; sidewalks.

TRAFFIC SIGNALS at the intersection of _____

OTHER IMPROVEMENTS: A 5' landscape strip to be installed behind the sidewalk.

LEGAL DESCRIPTION: (Place here or see Attachment A)

Beginning at a point 27.58 chains South of the Northeast corner of the John R. Magness Donation Land Claim No. 50, Township 18 South, Range 2 West of the Willamette Meridian; thence South along the East side of said Claim, 246.4 feet to the True Point of Beginning of this description; thence West 549.78 feet; thence South 545.59 feet to the middle of County Road; thence East 549.78 feet; thence North 545.59 feet to the True Point of Beginning, all in Lane County, Oregon.

ADDITIONAL INFORMATION: 18-02-05-23 00100
Assessor's Map# Tax Lot#
4164 Jasper Road
Property Address

IT IS FURTHER UNDERSTOOD that Applicant agrees to sign any and all waivers, petitions, consents and all other documents necessary to obtain the above listed improvements under any improvement act or proceeding of the State of Oregon, Lane County, or City as may be proposed or adopted and to waive all right to remonstrate against such improvements, but not the right to protest the amount or manner of spreading the assessment thereof, if the same shall appear to Applicant to bear inequitably or unfairly upon said property of Applicant;

NOW THEREFORE, City agrees that Applicant's execution and performance of the terms of this Agreement will be deemed to be in compliance with City's policy pertaining to improvement requirements, and if Applicant complies in every respect with all other applicable laws of the State of Oregon, Lane County, and City, the said Applicant shall be entitled to Development Approval; and

IN ADDITION, it is the intention of the parties hereto that the covenants herein contained shall run with the land herein described, and shall be binding upon the heirs, executors, assigns, administrators, and successors of the parties hereto, and shall be construed to be a benefit and a burden upon the property herein described. This Agreement shall be recorded in the Lane County Deed Records.

WITNESSETH, the parties have set their hand and seal this 21 day of April, 1988.
CITY OF SPRINGFIELD
225 Fifth Street
Springfield, Oregon 97477
3664A001 05/06/88 REC 10-0
0005

By Wain E. Brown By Bud Maeder
Director of Public Works Applicant
By David Mc Closky
Applicant

On this 21 day of April, 1988, there personally appeared before me and signed the above document.

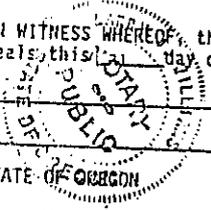
[Signature]
NOTARY PUBLIC
My Commission Expires: 4-18-92

Date Received:

MAY 01 2015

8817794

IN WITNESS WHEREOF, the grantors above named have hereunto set their hands and seals, this 21 day of April, 1988.



_____(SEAL) _____(SEAL)
_____(SEAL) _____(SEAL)

STATE OF OREGON

County of Lane) ss.

before me appeared Bruce Maederer On this 21 day of April, 1988,

David McClosky both to me personally known, who being duly sworn, did say that he, the said Bruce Maederer is the company President, and he, the said David McClosky is the company's Secretary of The Hoedads Inc. the within named Corporation, and that the seal affixed to said instrument is the Corporate seal of said Corporation, and that the said instrument was signed and sealed in behalf of said Corporation by authority of its Board of Directors, and Bruce Maederer and David McClosky acknowledge said instrument to be the free act and deed of said Corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

[Signature]
Notary Public for Oregon

my commission expires 4-18-97

21 1988

8817794

State of Oregon,
County of Lane--ss.
I, the County Clerk, in and for the said County, do hereby certify that the within instrument was received for record at 11:19

Reel **1512R**

Lane County OFFICIAL Records,
Lane County Clerk

By: *[Signature]*
County Clerk

Date Received:

MAY 01 2015

Original Submittal *gm*

3-4-99

2523

99019915

4
6

PUBLIC UTILITY EASEMENT

THIS INDENTURE MADE and entered into this 4TH day of MARCH, 1999, by and between Skillern Investments Limited Partnership, hereinafter referred to as the Grantor, and the CITY OF SPRINGFIELD, a municipal corporation, in Lane County, Oregon, hereinafter referred to as the Grantee.

§295MAR.04'99#02REC 5.00

WITNESSETH: In consideration of the acceptance by Grantee, and the use or holding of said easement for present or future public use by Grantee, Grantors hereby grant, bargain, sell and convey unto the Grantee, a perpetual easement seven (7) feet in width, together with the right to go upon said easement area hereinafter described for the purpose of constructing, reconstructing, maintaining and using public utilities which may hereafter be installed on the following described property, to-wit:

The westerly seven (7.00) feet of the easterly 47.00 feet of the property acquired by Skillern Investments Limited Partnership in that deed from John Skillern and H. Nadine Skillern recorded January 24, 1996 at Reel 2134R, Reception No. 960485, Lane County Official Records excepting the southerly 40.00 feet thereof.

§204MAR.04'99#02PFUND 10.00

TO HAVE AND TO HOLD the above easement to the said Grantee, its heirs and assigns forever.

IN WITNESS WHEREOF, the Grantor above named has hereunto set his hand and seal this 4 day of MARCH 1999

John Skillern
John Skillern, General Partner

STATE OF OREGON)
)ss
COUNTY OF LANE)

BE IT REMEMBERED, that on this 4TH day of MARCH, 1999, before me, the undersigned, a Notary Public in and for said County and State, personally appeared the within named John Skillern who is known to be the identical individual who executed the foregoing instrument, and being duly sworn said that he is the General Partner of Skillern Investments Limited Partnership, and that the above instrument was signed in behalf of said company by the above named officer who acknowledged said instrument to his voluntary act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.



Tina L. Guard
Notary Public for Oregon

RETURN TO:
CITY OF SPRINGFIELD - PUBLIC WORKS DEPT. - 225 FIFTH STREET - SPRINGFIELD, OREGON

PROJECT #97-208

Date Received:

MAY 01 2015

3-4-99

2523

01001000

99019915

State of Oregon
County of Lane — ss.
I, the County Clerk, in and for the said
County, do hereby certify that the within
instrument was received for record at

1999 MAR 4 AM 11:39

Recd **2523R**
Lane County OFFICIAL Records
Lane County Clerk

By: *David S. Sisk*
County Clerk

Date Received:

MAY 01 2015

5 3-5-99

2524

99020274

**CORRECTED
PUBLIC UTILITY EASEMENT**

THIS DOCUMENT is being recorded to correct the legal description of the easement conveyed in that document recorded March 4, 1999, at Reel 2523R, Reception No. 99019915, Lane County Official Records. That document is hereby amended to read as follows:

THIS INDENTURE MADE and entered into this 5TH day of March, 1999, by and between Skillern Investments Limited Partnership, hereinafter referred to as the Grantor, and the City of Springfield, a municipal corporation, in Lane County, Oregon, hereinafter referred to as the Grantee.

WITNESSETH: In consideration of the acceptance by Grantee, and the use or holding of said easement for present or future public use by Grantee, Grantors hereby grant, bargain, sell and convey unto the Grantee, a perpetual easement seven (7.00) feet in width, together with the right to go upon said easement area hereinafter described for the purpose of constructing, reconstructing, maintaining and using public utilities which may hereafter be installed on the following described property, to-wit:

The westerly seven (7.00) feet of the easterly 47.00 feet of the property acquired by Skillern Investments Limited Partnership in that deed from John Skillern and H. Nadine Skillern recorded January 24, 1996, at Reel 2134R, Reception No. 9604857, Lane County Official Records, excepting the southerly 40.00 feet thereof.

TO HAVE AND TO HOLD the above easement to the said Grantee, its heirs and assigns forever.

IN WITNESS WHEREOF, the Grantor above named has hereunto set his hand and seal this 5TH day of March, 1999.

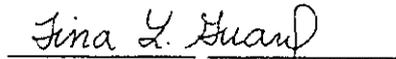

John Skillern, General Partner
Skillern Investments Limited Partnership

6315MAR.05'99#06REC 5.00
6315MAR.05'99#06PFUND 10.00

STATE OF OREGON)
) ss
COUNTY OF LANE)

BE IT REMEMBERED, that on this 5TH day of March, 1999, before me, the undersigned, a Notary Public in and for said county and state, personally appeared the within named John Skillern who is known to be the identical individual who executed the foregoing instrument, and being duly sworn said that he is the General Partner of Skillern Investments Limited Partnership, and that the above instrument was signed in behalf of said company by the above named officer who acknowledged said instrument to his voluntary act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last written above.


Notary Public of Oregon



After Recording Return To: City of Springfield, 222 Fifth Street, Springfield, Oregon, 97477

Branch Engineering Project No. 97-206
Date of Origination: March 4, 1999

Date Received:

MAY 01 2015

3-5-99

2524

99020274

State of Oregon
County of Lane — ss.
I, the County Clerk, in and for the said
County, do hereby certify that the within
instrument was received for record at

'99 MAR 5 AM 10:40

Reel **2524R**

Lane County OFFICIAL Records
Lane County Clerk

By: David S. Suckard
County Clerk

Date Received:

MAY 01 2015

Original Submittal SM



TITLE NO. 0247961
ESCROW NO. EU05-3472
TAX ACCT. NO. 0562791
MAP/TAX LOT NO. 18-02-05-23-00100

Division of Chief Deputy Clerk
Lane County Deeds and Records

2005-093031



\$31.00

11/22/2005 09:48:55 AM
RPR-DEED Cnt=1 Stn=6 CASHIER 07
\$10.00 \$11.00 \$10.00

WARRANTY DEED -- STATUTORY FORM

SKILLERN INVESTMENTS LIMITED PARTNERSHIP, an Oregon Limited Partnership, Grantor,

conveys and warrants to

JASPER JUNCTION, LLC, an Oregon Limited Liability Company, Grantee,

the following described real property free of encumbrances except as specifically set forth herein:

SEE EXHIBIT A WHICH IS MADE A PART HEREOF BY THIS REFERENCE

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930.

Except the following encumbrances:
Covenants, Conditions, Restrictions and Easements of record.

The true consideration for this conveyance is \$780,000.00 AS PAID BY/TO AN ACCOMMODATOR PURSUANT TO IRC 1031.

Dated this 21ST day of November, 2005.

SKILLERN INVESTMENTS LIMITED PARTNERSHIP

BY: [Signature]
JOHN SKILLERN, GENERAL PARTNER

State of Oregon
County of LANE

This instrument was acknowledged before me on November 21, 2005 by JOHN SKILLERN, GENERAL PARTNER of SKILLERN INVESTMENTS LIMITED PARTNERSHIP, on behalf of the grantor.



[Signature]
(Notary Public for Oregon)
My commission expires 1/27/07

SKILLERN INVESTMENTS LIMITED PARTNERSHIP
PO BOX 714
SPRINGFIELD, OR 97477
GRANTOR'S NAME AND ADDRESS

Until a change is requested
all tax statements shall be sent to the following address:
SAME AS GRANTEE

JASPER JUNCTION, LLC
3230 VAN BUREN STREET
EUGENE, OR 97405
GRANTEE'S NAME AND ADDRESS

After recording return to:
CASCADE TITLE CO.
811 WILLAMETTE
EUGENE, OR 97401

Date Received:

MAY 01 2015

EXHIBIT "A"

Beginning at a point 27.58 chains South of the Northeast corner of the John R. Magness Donation Land Claim No. 50, Township 18 South, Range 2 West of the Willamette Meridian; thence South along the East side of said Claim, 246.41 feet to the true point of beginning of the description; thence West 549.78 feet; thence South 545.59 feet to the middle of County Road; thence East 549.78 feet; thence North 545.59 feet to the true point of beginning, all in Lane County, Oregon.

EXCEPT THEREFROM that parcel conveyed to the City of Springfield by deed recorded July 12, 2005, Reception No. 2005-051442, Lane County Official Records.

Date Received:

MAY 01 2015

Original Submittal *SM*

BARGAIN AND SALE DEED

Tax Map & Lot Numbers 18-02-05-23 TL 100 (on the date of execution)

KNOW ALL BY THESE PRESENTS, that Max Jordan, Jasper Junction, LLC Grantor(s). In Consideration of the acceptance by the City of Springfield, Oregon, Grantee, and the use or holding of said property for present or future public use by Grantee, Grantor hereby grants, bargains, sells and conveys unto the said Grantee, its successors and assigns, all the following real property, with the tenements, hereditaments and appurtenances, situated in the County of Lane and State of Oregon, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE

THE SAME IS HEREBY and forever dedicated to the public to be used as PUBLIC ROAD.

IN ADDITION, In Consideration of the acceptance by the City of Springfield, Oregon, Grantee, and the use or holding of said property for present or future public use by Grantee, the Grantor hereby grants, bargains, sells and conveys unto the Grantee, a perpetual easement 7 feet in width, together with the right to go upon said easement area hereinafter described for the purpose of constructing, reconstructing, maintaining and using PUBLIC UTILITIES and sidewalks which may hereafter be installed on the following described property, to-wit:

SEE EXHIBIT "B" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE

TO HAVE AND HOLD, the above described and granted premises unto the said Grantee, its successors and assigns forever.

THE CONSIDERATION for this conveyance is \$0.00

IN WITNESS WHEREOF, the Grantors above named have hereunto set their hands and seals this 5th day of October, 2006

Handwritten signature of Max Jordan, Managing Partner. (SEAL) (TITLE)

STATE OF OREGON } COUNTY OF LANE } SS

BE IT REMEMBERED that on this 5th day of October, 2006 before me, the undersigned, a notary public in and for said County and State, personally appeared the within named Max Jordan whose identity was proved to me on the basis of satisfactory evidence and who by me duly sworn, did say that He is/are the Managing Partner of the within named Corporation and does acknowledge said instrument to be the free act and deed of said Corporation, and that the seal affixed to said instrument is the Corporate seal of said Corporation, and that said instrument was signed and sealed in behalf of said Corporation by authority of its Board of Directors

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.



Handwritten signature of Lori J. Lovewell, Notary Public for Oregon, My Commission Expires May 23, 2010

THE CONVEYANCE set forth in this instrument conveying title or interest to the City of Springfield, a Municipal Corporation of the State of Oregon, is hereby approved, and the title or interest conveyed therein is hereby accepted.

CITY OF SPRINGFIELD

By: Dennis P. Ernst - City of Springfield Surveyor

Oct. 5, 2006 Date

Division of Chief Deputy Clerk Lane County Deeds and Records 2006-073983 \$35.00 00851555200600739830030032 10/12/2006 09:24:59 AM RPR-DEED Cnt=1 Stn=6 CASHIER 07 \$15.00 \$11.00 \$10.00

Date Received:

MAY 01 2015

Original Submittal [Signature]

RETURN TO: CITY OF SPRINGFIELD - PUBLIC WORKS DEPT. - 225 FIFTH STREET - SPRINGFIELD, OREGON 97477

SEND TAX STATEMENT TO: CITY OF SPRINGFIELD - FINANCE DEPT. - 225 FIFTH STREET - SPRINGFIELD, OREGON 97477

EXHIBIT "A"

BEING A PORTION OF THAT PROPERTY ACQUIRED BY JASPER JUNCTION, LLC THROUGH THAT DEED RECORDED AS DOCUMENT NUMBER 2005-093031 IN THE LANE COUNTY OREGON DEEDS AND RECORDS LYING IN SECTION 5 OF TOWNSHIP 18 SOUTH, RANGE 2 WEST OF THE WILLAMETTE MERIDIAN AND WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A FIFTY (50.00) FOOT WIDE STRIP LYING 25.00 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE.

BEGINNING AT A POINT ON THE WEST LINE OF THE AFORE-DESCRIBED PROPERTY WHICH LIES NORTH 0°03'00" EAST A DISTANCE OF 281.12 FEET FROM THE INITIAL POINT OF RETA FRANKLIN ADDITION AS FILED AND RECORDED IN BOOK 28 AT PAGE 22 OF THE LANE COUNTY OREGON PLAT RECORDS; THENCE SOUTH 89°30'25" EAST A DISTANCE OF 148.93 FEET; THENCE ALONG THE ARC OF A 158.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 16°15'16" AND A CHORD BEARING NORTH 82°21'57" EAST 44.67 FEET, A DISTANCE OF 44.82 FEET; THENCE NORTH 74°14'19" EAST A DISTANCE OF 141.80 FEET; THENCE ALONG THE ARC OF A 158.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 15°45'41" AND A CHORD BEARING NORTH 82°07'09" EAST 43.33 FEET, A DISTANCE OF 43.46 FEET; THENCE EAST A DISTANCE OF 137.26 FEET TO A POINT ON THE EAST LINE OF THE AFORE-DESCRIBED PROPERTY AND THERE TERMINATING.

THE SIDELINES OF BOTH SEVEN FOOT STRIPS TO BE EXTENDED OR FORESHORTENED TO TERMINATE ON THE EAST OR WEST BOUNDARIES OF THE PROPERTY.

P:\2100-004-06\SURVEY\EXHIBIT A.doc

Date Received:

MAY 01 2015

Original Submittal SM

EXHIBIT "B"

BEING A PORTION OF THAT PROPERTY ACQUIRED BY JASPER JUNCTION, LLC THROUGH THAT DEED RECORDED AS DOCUMENT NUMBER 2005-093031 IN THE LANE COUNTY OREGON DEEDS AND RECORDS LYING IN SECTION 5 OF TOWNSHIP 18 SOUTH, RANGE 2 WEST OF THE WILLAMETTE MERIDIAN AND WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A SEVEN (7.00) FOOT WIDE STRIP BEING THE NORTHERLY 7.00 FEET OF A 32.00 FOOT WIDE STRIP LYING NORTHERLY OF AND CONTIGUOUS TO THE FOLLOWING DESCRIBED CENTERLINE.

AND ALSO:

A SEVEN (7.00) FOOT WIDE STRIP BEING THE SOUTHERLY 7.00 FEET OF A 32.00 FOOT WIDE STRIP LYING SOUTHERLY OF AND CONTIGUOUS TO THE FOLLOWING DESCRIBED CENTERLINE.

BEGINNING AT A POINT ON THE WEST LINE OF THE AFORE-DESCRIBED PROPERTY WHICH LIES NORTH $0^{\circ}03'00''$ EAST A DISTANCE OF 281.12 FEET FROM THE INITIAL POINT OF RETA FRANKLIN ADDITION AS FILED AND RECORDED IN BOOK 28 AT PAGE 22 OF THE LANE COUNTY OREGON PLAT RECORDS; THENCE SOUTH $89^{\circ}30'25''$ EAST A DISTANCE OF 148.93 FEET; THENCE ALONG THE ARC OF A 158.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF $16^{\circ}15'16''$ AND A CHORD BEARING NORTH $82^{\circ}21'57''$ EAST 44.67 FEET, A DISTANCE OF 44.82 FEET; THENCE NORTH $74^{\circ}14'19''$ EAST A DISTANCE OF 141.80 FEET; THENCE ALONG THE ARC OF A 158.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF $15^{\circ}45'41''$ AND A CHORD BEARING NORTH $82^{\circ}07'09''$ EAST 43.33 FEET, A DISTANCE OF 43.46 FEET; THENCE EAST A DISTANCE OF 137.26 FEET TO A POINT ON THE EAST LINE OF THE AFORE-DESCRIBED PROPERTY AND THERE TERMINATING.

THE SIDELINES OF BOTH SEVEN FOOT STRIPS TO BE EXTENDED OR FORESHORTENED TO TERMINATE ON THE EAST OR WEST BOUNDARIES OF THE PROPERTY.

P:\2100-004-06\SURVEY\EXHIBIT B.doc

Date Received:

MAY 01 2015

Original Submittal SM

Lane County Property Taxes Due Report

Tax Account # 0562791
Alternate Property # (maplot) 18-02-05-23-00100
Tax Code Area (TCA) 01900
Location 4164 JASPER RD SPRINGFIELD, OR 97478-6548*
Taxpayer JASPER JUNCTION LLC
 85831 PARKLANE CIR
 PLEASANT HILL, OR 97455

* Multiple site addresses exist on this tax account.

Property Values & Taxes

Real Market Value (RMV)					
	Land	Improvement	Total	Total Assessed Value	Tax
2014	873,281	606	873,887	178,152	3,235.06
2013	873,281	606	873,887	172,963	3,172.00

Current Year Assessed Value 178,152.00
Less Exemption Amount (0.00)
Taxable Value 178,152.00
Frozen Assessed Value 0.00

Exemption Type

Account Status

Account Status	Account Status Notes
• Active Account Current Tax Year	
Remarks none	

Taxes Due for Account # 0562791

Delinquent Interest (if applicable) Computed Through: 4/17/2015

The tax shown is the amount certified in October unless a value change has been processed on the property, resulting in a tax correction. Value changes typically occur as a result of appeals, clerical errors and omitted property.

Year	Description	Tax	Minimum	Due Date
2014	Property Tax Interest	129.40	129.40	04/17/2015
2014	Property Tax Principal	3,235.06	2,156.71	11/17/2014

Taxes & Assessments due for Account Number 0562791: \$3,364.46

Date Received:

MAY 01 2015

Original Submittal SM

EXHIBIT L

Development Issues Meeting Letter

Date Received:

MAY 01 2015

EXHIBIT M

Land Owner Authorization

Date Received:

MAY 01 2015

Verizon Wireless

Permit Authorization

Date: **December 15, 2014**
Property Owner: **Jasper Junction LLC c/o John Erving, Broker**
Property/Site Address: **4164 Jasper Road, Springfield, OR**

RE: EUG Clearwater: 4164 Jasper Road, Springfield, OR

To Property Owner:

Please sign and return the letter of authorization to the Real Estate Consultant at Smartlink, 621 SW Alder Street, Suite 660, Portland, Oregon, as soon as possible to assure rapid processing of this site.

This letter shall not constitute an agreement to enter a binding easement or lease, and neither party shall be bound with respect to the leasing of the property until a final Agreement is negotiated and signed by both parties.

LETTER OF AUTHORIZATION

To Whom It May Concern:

The undersigned hereby authorized Verizon Wireless, its attorneys, agents or representatives, to make application for any necessary zoning petitions including the filing of building permit applications.

Very truly yours,

Property Owner

Date

12/15/2014

MANAGING
PARTNER
JASPER JUNCTION, LLC

Received:

AY 01 2015



0289821

STATUS OF RECORD TITLE REPORT

SMARTLINK LLC
1997 ANNAPOLIS EXCHANGE PKWY, SUITE 260
ANNAPOLIS, MD 21401

Date: APRIL 17, 2015
Our No: CT-0239821
Ref. No.: 1-EUG CLEARWATER
Charge: \$400.00

As requested, Cascade Title Co. has searched our tract indices as to the following described real property:

Beginning at a point 27.58 chains South of the Northeast corner of the John R. Magness Donation Land Claim No. 50, Township 18 South, Range 2 West of the Willamette Meridian; thence South along the East side of said Claim, 246.41 feet to the true point of beginning of the description; thence West 549.78 feet; thence South 545.59 feet to the middle of County Road; thence East 549.78 feet; thence North 545.59 feet to the true point of beginning, all in Lane County, Oregon.

EXCEPT THEREFROM that parcel conveyed to the City of Springfield by deed recorded July 12, 2005, Reception No. 2005-051442, Lane County Deeds and Records, in Lane County, Oregon.

ALSO EXCEPT THEREFROM that parcel conveyed to the City of Springfield by deed recorded October 12, 2006, Reception No. 2006-073983, Lane County Deeds and Records, in Lane County, Oregon.

and as of: APRIL 08, 2015 at 8:00 A.M., we find the following:

Vestee:

JASPER JUNCTION, LLC
AN OREGON LIMITED LIABILITY COMPANY

Said property is subject to the following on record matters:

1. Taxes, Account No. 0562791, Assessor's Map No. 18 02 05 2 3, #100, Code 19-00, 2014-2015, in the amount of \$3,235.06, DUE PLUS INTEREST.
2. Rights of the public in and to that portion lying within streets, roads and highways.
3. Easements for public roads over a portion of said land, including the terms and provisions thereof, in favor of Lane County, as set forth in instruments recorded February 29, 1968, Reception Nos. 15787 and 15788, Lane County Oregon Deed Records.
4. Agreement with City of Springfield, including the terms and provisions thereof for street improvements along Jasper Road, recorded May 6, 1988, Reception No. 8817793, Lane County Official Records.

MAIN OFFICE

811 WILLAMETTE ST. * EUGENE, OREGON 97401
PH: (541) 687-2233 * FAX: (541)485-0307
E-MAIL: INFO@CASCADETITLE.COM

FLORENCE OFFICE

715 HWY. 101 * FLORENCE, OREGON 97439
PH: (541) 997-8417 * FAX: (541)997-8246
E-MAIL: FLORENCE@CASCADETITLE.COM

Date Received:

MAY 01 2015

Attachment 3, Page 143 of 162

Original Submittal *EM*

5. Agreement with City of Springfield, including the terms and provisions thereof, for street improvements along South 42nd Street, recorded May 6, 1988, Reception No. 8817794, Lane County Official Records.
6. Public utility easement, including the terms and provisions thereof, granted to the City of Springfield by instrument recorded March 4, 1999, Reception No. 99019915 and corrected by instrument recorded March 5, 1999, Reception No. 99020274, Lane County Official Records.
7. Deed of Trust, including the terms and provisions thereof, executed by Jasper Junction LLC, to Cascade Title Co., Trustee, for the benefit of Berjac of Oregon, Beneficiary, dated November 21, 2005, recorded November 22, 2005, Reception No. 2005-093032, Lane County Deeds and Records, to secure payment of a note for \$763,000.00.
8. Easement for Public Road, as disclosed in Bargain and Sale Deed, including the terms and provisions thereof, between Max Jordan, Jasper Junction, LLC, and the City of Springfield, Oregon, recorded October 12, 2006, Reception No. 2006-073983, Lane County Deeds and Records.

This report is to be utilized for information only. This report is not to be used as a basis for transferring, encumbering or foreclosing the real property described.

The liability of Cascade Title Co. is limited to the addressee and shall not exceed the premium paid hereunder.

CASCADE TITLE CO., by:

ab/Title Officer: TYLER YORK

Date Received:

MAY 01 2015

Attachment 3, Page 144 of 162

Original Submittal SM

15787

DEDICATION
OF PUBLIC ROAD EASEMENT

DONALD E. COOPER

grants and dedicates to LANE COUNTY, a political subdivision of the State of Oregon,
a public road easement on and over the following described property:

A parcel of land lying in the Northwest one-quarter of Section 5,
Township 18 South, Range 2 West, Willamette Meridian, and being a portion
of the tract of land conveyed to Donald E. Cooper by that certain Agreement
recorded March 21, 1966, Recorder's Reception No. 40732, on Reel 284-D,
Lane County Oregon Deed Records, and being more particularly described
as follows:

Beginning at a point 39.58 chains South and 40.0 feet West of the
Northeast corner of the John R. Magness Donation Land Claim No. 50, in
Township 18 South, Range 2 West, Willamette Meridian, said point being
on the centerline of County Road No. 49 (Jasper Road); run thence West
509.78 feet; thence North 40.0 feet; thence East 509.78 feet; thence South
40.0 feet to the point of beginning in Lane County, Oregon.

It being the intention herein to widen County Road No. 49 insofar
as it abuts the above described real property, to 40 feet in width North
of the centerline of said road.

Said parcel being hereby forever dedicated to the use of the public for
road purposes and granting a public road easement.

There is no consideration for this dedication.

Signed this 27th day of February, 1966.

Donald E. Cooper

STATE OF OREGON)
) ss.
County of Lane)

On this 27th day of February, 1966, personally appeared the above named
Donald E. Cooper
and acknowledged the foregoing instrument to be his voluntary act. Before me:

NOTARY
PUBLIC

Richard Henthorn
Notary Public for Oregon
My Commission Expires: 5-25-70

Date Received:

MAY 01 2015

4-114

442

State of Oregon,
County of Lane

I, INA RANDOLPH, Director of the
Department of Records and Elections,
and for the said County, do hereby
certify that the within instrument was
received for record at

1968 FEB 29 AM 10 43 5

Reel: 381-R

Lane County OFFICIAL Records.

INA RANDOLPH, Director of the
Department of Records & Elections.

By [Signature]
Deputy
C29-083-05

[Signature]

Date Received:

MAY 01 2015

Original Submittal [Signature]

15785

DEDICATION
OF PUBLIC ROAD EASEMENT

DONALD E. COOPER

grants and dedicates to LANE COUNTY, a political subdivision of the State of Oregon,
a public road easement on and over the following described property:

A parcel of land lying in the Northwest one-quarter of Section 5,
Township 18 South, Range 2 West, Willamette Meridian, and being a portion
of the tract of land conveyed to Donald E. Cooper by that certain Agreement
recorded March 21, 1966, Recorder's Reception No. 40732, on Reel 284-D,
Lane County Oregon Deed Records, and being more particularly described
as follows:

Beginning at a point 234.39 feet South of a point 27.58 chains South
of the Northeast corner of the John R. Magness Donation Land Claim No. 50,
in Township 18 South, Range 2 West, Willamette Meridian, said point being
on the centerline of County Road No. 287 (South 42nd Street); run thence
South 557.61 feet; thence West 40 feet; thence North 557.61 feet; thence
East 40 feet to the point of beginning in Lane County Oregon.

It being the intention herein to widen County Road No. 287 insofar
as it abuts the above described real property, to 40 feet in width West
of the centerline of said road.

Said parcel being hereby forever dedicated to the use of the public for
road purposes and granting a public road easement.

There is no consideration for this dedication.

Signed this 27th day of February, 1966.

Donald E. Cooper

STATE OF OREGON)
) ss.
County of Lane)

On February 27, 1966, personally appeared the above named
Donald E. Cooper
and acknowledged the foregoing instrument to be his voluntary act. Before me:

2181

Lucy Hesther

Notary Public for Oregon
My Commission Expires: 5-25-70

Date Received:

MAY 01 2015

4-17-1988

1-17

State of Oregon,
County of Lane
I, Ina Randolph, Director of the
Department of Records and Elections,
do hereby certify that the within instrument was
received for record at

1988 FEB 29 AM 10 43 7

Recd 581-R
Lane County OFFICIAL Records.
INA RANDOLPH, Director of the
Department of Records & Elections.
By *Ina Randolph*
Deputy
C29-083-05

in

Date Received:

MAY 0 1 2015

8817793

IMPROVEMENT AGREEMENT

IN CONSIDERATION of the covenants herein recited, the City of Springfield, hereinafter referred to as City, and Hoedads, Inc. hereinafter referred to as Applicant, do covenant and agree as follows:

WHEREAS Applicant desires Development Approval from City; and

WHEREAS, any future development within City or its Urban Growth Boundary will cause both an immediate and long-term demand on the various public facilities of City;

NOW THEREFORE, Applicant and City agree to the following schedule of public facility improvements and respective cost assumption policy:

STREET IMPROVEMENTS along the frontage of Jasper Road to include: [x] surface paving; [x] storm sewers; [x] sanitary sewers; [x] curbs; [x] gutters; [x] planter strips; [x] street trees; [x] street lights; [x] sidewalks.

TRAFFIC SIGNALS at the intersection of _____

OTHER IMPROVEMENTS: A 5' landscape strip to be installed behind the sidewalk.

LEGAL DESCRIPTION: (Place here or see Attachment A)

Beginning at a point 27.58 chains South of the Northeast corner of the John R. Magness Donation Land Claim No. 50, Township 18 South, Range 2 West of the Willamette Meridian; thence South along the East side of said Claim, 246.4 feet to the True Point of Beginning of this description; thence West 549.78 feet; thence South 545.59 feet to the middle of County Road; thence East 549.78 feet; thence North 545.59 feet to the True Point of Beginning, all in Lane County, Oregon.

ADDITIONAL INFORMATION: 18-02-05-23 00100 Assessor's Map# Tax Lot# 4164 Jasper Road Property Address

IT IS FURTHER UNDERSTOOD that Applicant agrees to sign any and all waivers, petitions, consents and all other documents necessary to obtain the above listed improvements under any improvement act or proceeding of the State of Oregon, Lane County, or City as may be proposed or adopted and to waive all right to remonstrate against such improvements, but not the right to protest the amount or manner of spreading the assessment thereof, if the same shall appear to Applicant to bear inequitably or unfairly upon said property of Applicant;

NOW THEREFORE, City agrees that Applicant's execution and performance of the terms of this Agreement will be deemed to be in compliance with City's policy pertaining to improvement requirements, and if Applicant complies in every respect with all other applicable laws of the State of Oregon, Lane County, and City, the said Applicant shall be entitled to Development Approval; and

IN ADDITION, it is the intention of the parties hereto that the covenants herein contained shall run with the land herein described, and shall be binding upon the heirs, executors, assigns, administrators, and successors of the parties hereto, and shall be construed to be a benefit and a burden upon the property herein described. This Agreement shall be recorded in the Lane County Deed Records.

WHEREFORE, the parties have set their hand and seal this 21 day of April 1988.

CITY OF SPRINGFIELD 225 Fifth Street Springfield, Oregon 97477

3664A001 05/06/00 REC 11 **0005**

By Dan E. Brown Director of Public Works

By [Signature] Applicant

STATE OF OREGON)) ss. COUNTY OF LANE)

By [Signature] Applicant

On this 21 day of April, 1988, there personally appeared before me and signed the above document.

[Signature] NOTARY PUBLIC

My Commission Expires: 4-18-92

Date Received:

MAY 01 2015

Original Submittal [Signature]

8817793

IN WITNESS WHEREOF, the grantors above named have hereunto set their hands and seals this 21 day of April, 19 88.

_____(SEAL) _____(SEAL)
_____(SEAL) _____(SEAL)

STATE OF OREGON

County of Lane } ss.

On this 21 day of April, 19 88,

before me appeared Bruce Maederer and David McClosky both to me personally known, who being duly sworn, did say that he, the said Bruce Maederer is the company President, and he, the said David McClosky is the company's Secretary of The Hoedads Inc. the within named Corporation, and that the seal affixed to said instrument is the Corporate seal of said Corporation, and that the said instrument was signed and sealed in behalf of said Corporation by authority of its Board of Directors, and Bruce Maederer and David McClosky acknowledge said instrument to be the free act and deed of said Corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

[Signature]
Notary Public for Oregon

my commission expires 4-18-92

8817793

State of Oregon,
County of Lane--ss.

I, the County Clerk, in and for the said County, do hereby certify that the within instrument was received for record at

Reel 1512R

Lane County OFFICIAL Records,
Lane County Clerk

By: *[Signature]*
County Clerk

Date Received:

MAY 01 2015

8817794

IMPROVEMENT AGREEMENT

IN CONSIDERATION of the covenants herein recited, the City of Springfield, hereinafter referred to as City, and Hoedads, Inc. hereinafter referred to as Applicant, do covenant and agree as follows:

WHEREAS Applicant desires Development Approval from City; and

WHEREAS, any future development within City or its Urban Growth Boundary will cause both an immediate and long-term demand on the various public facilities of City;

NOW THEREFORE, Applicant and City agree to the following schedule of public facility improvements and respective cost assumption policy:

STREET IMPROVEMENTS along the frontage of South 42nd Street to include: [] surface paving; [] storm sewers; [] sanitary sewers; [] curbs; [] gutters; [] planter strips; [] street trees; [] street lights; [] sidewalks.

TRAFFIC SIGNALS at the intersection of _____

OTHER IMPROVEMENTS: A 5' landscape strip to be installed behind the sidewalk.

LEGAL DESCRIPTION: (Place here or see Attachment A)

Beginning at a point 27.58 chains South of the Northeast corner of the John R. Magness Donation Land Claim No. 50, Township 18 South, Range 2 West of the Willamette Meridian; thence South along the East side of said Claim, 246.4 feet to the True Point of Beginning of this description; thence West 549.78 feet; thence South 545.59 feet to the middle of County Road; thence East 549.78 feet; thence North 545.59 feet to the True Point of Beginning, all in Lane County, Oregon.

ADDITIONAL INFORMATION: 18-02-05-23 00100
Assessor's Map# Tax Lot#
4164 Jasper Road
Property Address

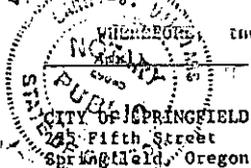
IT IS FURTHER UNDERSTOOD that Applicant agrees to sign any and all waivers, petitions, consents and all other documents necessary to obtain the above listed improvements under any improvement act or proceeding of the State of Oregon, Lane County, or City as may be proposed or adopted and to waive all right to remonstrate against such improvements, but not the right to protest the amount or manner of spreading the assessment thereof, if the same shall appear to Applicant to bear inequitably or unfairly upon said property of Applicant;

NOW THEREFORE, City agrees that Applicant's execution and performance of the terms of this Agreement will be deemed to be in compliance with City's policy pertaining to improvement requirements, and if Applicant complies in every respect with all other applicable laws of the State of Oregon, Lane County, and City, the said Applicant shall be entitled to Development Approval; and

IN ADDITION, it is the intention of the parties hereto that the covenants herein contained shall run with the land herein described, and shall be binding upon the heirs, executors, assigns, administrators, and successors of the parties hereto, and shall be construed to be a benefit and a burden upon the property herein described. This Agreement shall be recorded in the Lane County Deed Records.

WHEREFORE, the parties have set their hand and seal this 21 day of April, 19 88.

3664A001 05/06/88 REC 10-1
0005



By Dan E. Brown
Director of Public Works

By Bud Maeder
Applicant

STATE OF OREGON)
) ss.
COUNTY OF LANE)

By David McClosky
Applicant

On this 21 day of April, 19 88, there personally appeared before me and signed the above document.

[Signature]
NOTARY PUBLIC

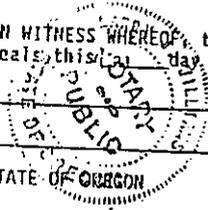
My Commission Expires: 4-18-92

Date Received:

MAY 01 2015

8817794

IN WITNESS WHEREOF the grantors above named have hereunto set their hands and seals, this 21 day of April, 19 88.



(SEAL) _____ (SEAL)

(SEAL) _____ (SEAL)

STATE OF OREGON }
County of Lane } ss.

On this 21 day of April, 19 88,

before me appeared Bruce Maederer and David McClosky both to me personally known, who being duly sworn, did say that he, the said Bruce Maederer is the company President, and he, the said David McClosky is the company's Secretary of The Hoedads Inc. the within named Corporation, and that the seal affixed to said instrument is the Corporate seal of said Corporation, and that the said instrument was signed and sealed in behalf of said Corporation by authority of its Board of Directors, and Bruce Maederer and David McClosky acknowledge said instrument to be the free act and deed of said Corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

[Signature]
Notary Public for Oregon

my commission expires 4-18-97

21 88

8817794

State of Oregon,
County of Lane--ss.
I, the County Clerk, in and for the said County, do hereby certify that the within instrument was received for record at _____ 11: 19

Reel 1512R

Lane County OFFICIAL RECORDS,
Lane County Clerk

By: *[Signature]*
County Clerk

Date Received:

MAY 01 2015

3-4-99

2523

01001000

99019915

State of Oregon
County of Lane -- ss.
I, the County Clerk, in and for the said
County, do hereby certify that the within
instrument was received for record at

1999 MAR 4 AM 11:39

Recd **2523R**
Lane County OFFICIAL Records
Lane County Clerk

By: *David S. Sisk*
County Clerk

Date Received:

MAY 01 2015

3-5-99

2524

99020274

**CORRECTED
PUBLIC UTILITY EASEMENT**

THIS DOCUMENT is being recorded to correct the legal description of the easement conveyed in that document recorded March 4, 1999, at Reel 2523R, Reception No. 99019915, Lane County Official Records. That document is hereby amended to read as follows:

THIS INDENTURE MADE and entered into this 5TH day of March, 1999, by and between Skillern Investments Limited Partnership, hereinafter referred to as the Grantor, and the City of Springfield, a municipal corporation, in Lane County, Oregon, hereinafter referred to as the Grantee.

WITNESSETH: In consideration of the acceptance by Grantee, and the use or holding of said easement for present or future public use by Grantee, Grantors hereby grant, bargain, sell and convey unto the Grantee, a perpetual easement seven (7.00) feet in width, together with the right to go upon said easement area hereinafter described for the purpose of constructing, reconstructing, maintaining and using public utilities which may hereafter be installed on the following described property, to-wit:

The westerly seven (7.00) feet of the easterly 47.00 feet of the property acquired by Skillern Investments Limited Partnership in that deed from John Skillern and H. Nadine Skillern recorded January 24, 1996, at Reel 2134R, Reception No. 9604857, Lane County Official Records, excepting the southerly 40.00 feet thereof.

TO HAVE AND TO HOLD the above easement to the said Grantee, its heirs and assigns forever.

IN WITNESS WHEREOF, the Grantor above named has hereunto set his hand and seal this 5TH day of March, 1999.

John Skillern
John Skillern, General Partner
Skillern Investments Limited Partnership

4315MAR.05'99HD6REC 5.00
4315MAR.05'99HD6PFUND 10.00

STATE OF OREGON)
) ss
COUNTY OF LANE)

BE IT REMEMBERED, that on this 5TH day of March, 1999, before me, the undersigned, a Notary Public in and for said county and state, personally appeared the within named John Skillern who is known to be the identical individual who executed the foregoing instrument, and being duly sworn said that he is the General Partner of Skillern Investments Limited Partnership, and that the above instrument was signed in behalf of said company by the above named officer who acknowledged said instrument to his voluntary act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last written above.

Tina L. Guard
Notary Public of Oregon



After Recording Return To: City of Springfield, 222 Fifth Street, Springfield, Oregon, 97477

Branch Engineering Project No. 97-206
Date of Origination: March 4, 1999 Date Received:

MAY 01 2015

3-5-99

2524

59020274

State of Oregon
County of Lane — ss.
I, the County Clerk, in and for the said
County, do hereby certify that the within
instrument was received for record at

'99 MAR 5 AM 10:40

Recd **2524R**

Lane County OFFICIAL Records
Lane County Clerk

By: David S. Suchan
County Clerk

Date Received:

MAY 01 2015



TITLE NO. 0247961
ESCROW NO. EU05-3472
TAX ACCT. NO. 0562791
MAP/TAX LOT NO. 18-02-05-23-00100

Division of Chief Deputy Clerk
Lane County Deeds and Records

2005-093031



\$31.00

00758226200500930310020026

11/22/2005 09:48:55 AM

RPR-DEED Cnt=1 Stn=6 CASHIER 07
\$10.00 \$11.00 \$10.00

WARRANTY DEED -- STATUTORY FORM

SKILLERN INVESTMENTS LIMITED PARTNERSHIP, an Oregon Limited Partnership, Grantor,
conveys and warrants to

JASPER JUNCTION, LLC, an Oregon Limited Liability Company, Grantee,

the following described real property free of encumbrances except as specifically set forth herein:

SEE EXHIBIT A WHICH IS MADE A PART HEREOF BY THIS REFERENCE

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930.

Except the following encumbrances:
Covenants, Conditions, Restrictions and Easements of record.

The true consideration for this conveyance is \$780,000.00 AS PAID BY/TO AN ACCOMMODATOR PURSUANT TO IRC 1031.

Dated this 21st day of November, 2005.

SKILLERN INVESTMENTS LIMITED PARTNERSHIP

BY: John Skillern
JOHN SKILLERN, GENERAL PARTNER

State of Oregon
County of LANE

This instrument was acknowledged before me on November 21, 2005 by JOHN SKILLERN, GENERAL PARTNER of SKILLERN INVESTMENTS LIMITED PARTNERSHIP, on behalf of the grantor.



Jennifer L. Michener
(Notary Public for Oregon)
My commission expires 1/27/07

SKILLERN INVESTMENTS LIMITED PARTNERSHIP
PO BOX 714
SPRINGFIELD, OR 97477
GRANTOR'S NAME AND ADDRESS

Until a change is requested
all tax statements shall be sent to the following address:
****SAME AS GRANTEE***

JASPER JUNCTION, LLC
3230 VAN BUREN STREET
EUGENE, OR 97405
GRANTEE'S NAME AND ADDRESS

After recording return to:
CASCADE TITLE CO.
811 WILLAMETTE
EUGENE, OR 97401

Date Received:

MAY 01 2015

EXHIBIT "A"

Beginning at a point 27.58 chains South of the Northeast corner of the John R. Magness Donation Land Claim No. 50, Township 18 South, Range 2 West of the Willamette Meridian; thence South along the East side of said Claim, 246.41 feet to the true point of beginning of the description; thence West 549.78 feet; thence South 545.59 feet to the middle of County Road; thence East 549.78 feet; thence North 545.59 feet to the true point of beginning, all in Lane County, Oregon.

EXCEPT THEREFROM that parcel conveyed to the City of Springfield by deed recorded July 12, 2005, Reception No. 2005-051442, Lane County Official Records.

Date Received:

MAY 01 2015

BARGAIN AND SALE DEED

Tax Map & Lot Numbers 18-02-05-23 TL 100 (on the date of execution)

KNOW ALL BY THESE PRESENTS, that Max Jordan, Jasper Junction, LLC Grantor(s). In Consideration of the acceptance by the City of Springfield, Oregon, Grantee, and the use or holding of said property for present or future public use by Grantee, Grantor hereby grants, bargains, sells and conveys unto the said Grantee, its successors and assigns, all the following real property, with the tenements, hereditaments and appurtenances, situated in the County of Lane and State of Oregon, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE

THE SAME IS HEREBY and forever dedicated to the public to be used as PUBLIC ROAD.

IN ADDITION, In Consideration of the acceptance by the City of Springfield, Oregon, Grantee, and the use or holding of said property for present or future public use by Grantee, the Grantor hereby grants, bargains, sells and conveys unto the Grantee, a perpetual easement 7 feet in width, together with the right to go upon said easement area hereinafter described for the purpose of constructing, reconstructing, maintaining and using PUBLIC UTILITIES and sidewalks which may hereafter be installed on the following described property, to-wit:

SEE EXHIBIT "B" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE

TO HAVE AND HOLD, the above described and granted premises unto the said Grantee, its successors and assigns forever.

THE CONSIDERATION for this conveyance is \$0.00

IN WITNESS WHEREOF, the Grantors above named have hereunto set their hands and seals this 5th day of October, 2006

Handwritten signature of Max Jordan, Managing Partner, with (SEAL) and (TITLE) labels.

STATE OF OREGON } COUNTY OF LANE } SS

BE IT REMEMBERED that on this 5th day of October, 2006 before me, the undersigned, a notary public in and for said County and State, personally appeared the within named Max Jordan whose identity was proved to me on the basis of satisfactory evidence and who by me duly sworn, did say that He is/are the Managing Partner of the within named Corporation and does acknowledge said instrument to be the free act and deed of said Corporation, and that the seal affixed to said instrument is the Corporate seal of said Corporation, and that said instrument was signed and sealed in behalf of said Corporation by authority of its Board of Directors

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.



Handwritten signature of Lori J. Lovewell, Notary Public for Oregon, My Commission Expires May 23, 2010

THE CONVEYANCE set forth in this instrument conveying title or interest to the City of Springfield, a Municipal Corporation of the State of Oregon, is hereby approved, and the title or interest conveyed therein is hereby accepted.

CITY OF SPRINGFIELD

By: Dennis P. Ernst - City of Springfield Surveyor

Date: Oct. 5, 2006

Division of Chief Deputy Clerk Lane County Deeds and Records. 2006-073983. \$36.00. Barcode: 00851555200600739830030032. 10/12/2006 09:24:59 AM. RPR-DEED Cnt=1 Sin=8 CASHIER 07. \$15.00 \$11.00 \$10.00

Date Received:

MAY 01 2015

Original Submittal

RETURN TO: CITY OF SPRINGFIELD - PUBLIC WORKS DEPT. - 225 FIFTH STREET - SPRINGFIELD, OREGON 97477

SEND TAX STATEMENT TO: CITY OF SPRINGFIELD - FINANCE DEPT. - 225 FIFTH STREET - SPRINGFIELD, OREGON 97477

EXHIBIT "A"

BEING A PORTION OF THAT PROPERTY ACQUIRED BY JASPER JUNCTION, LLC THROUGH THAT DEED RECORDED AS DOCUMENT NUMBER 2005-093031 IN THE LANE COUNTY OREGON DEEDS AND RECORDS LYING IN SECTION 5 OF TOWNSHIP 18 SOUTH, RANGE 2 WEST OF THE WILLAMETTE MERIDIAN AND WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A FIFTY (50.00) FOOT WIDE STRIP LYING 25.00 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE.

BEGINNING AT A POINT ON THE WEST LINE OF THE AFORE-DESCRIBED PROPERTY WHICH LIES NORTH 0°03'00" EAST A DISTANCE OF 281.12 FEET FROM THE INITIAL POINT OF RETA FRANKLIN ADDITION AS FILED AND RECORDED IN BOOK 28 AT PAGE 22 OF THE LANE COUNTY OREGON PLAT RECORDS; THENCE SOUTH 89°30'25" EAST A DISTANCE OF 148.93 FEET; THENCE ALONG THE ARC OF A 158.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 16°15'16" AND A CHORD BEARING NORTH 82°21'57" EAST 44.67 FEET, A DISTANCE OF 44.82 FEET; THENCE NORTH 74°14'19" EAST A DISTANCE OF 141.80 FEET; THENCE ALONG THE ARC OF A 158.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 15°45'41" AND A CHORD BEARING NORTH 82°07'09" EAST 43.33 FEET, A DISTANCE OF 43.46 FEET; THENCE EAST A DISTANCE OF 137.26 FEET TO A POINT ON THE EAST LINE OF THE AFORE-DESCRIBED PROPERTY AND THERE TERMINATING.

THE SIDELINES OF BOTH SEVEN FOOT STRIPS TO BE EXTENDED OR FORESHORTENED TO TERMINATE ON THE EAST OR WEST BOUNDARIES OF THE PROPERTY.

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Date Received:

MAY 01 2015

Original Submittal SM

EXHIBIT "B"

BEING A PORTION OF THAT PROPERTY ACQUIRED BY JASPER JUNCTION, LLC THROUGH THAT DEED RECORDED AS DOCUMENT NUMBER 2005-093031 IN THE LANE COUNTY OREGON DEEDS AND RECORDS LYING IN SECTION 5 OF TOWNSHIP 18 SOUTH, RANGE 2 WEST OF THE WILLAMETTE MERIDIAN AND WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A SEVEN (7.00) FOOT WIDE STRIP BEING THE NORTHERLY 7.00 FEET OF A 32.00 FOOT WIDE STRIP LYING NORTHERLY OF AND CONTIGUOUS TO THE FOLLOWING DESCRIBED CENTERLINE.

AND ALSO:

A SEVEN (7.00) FOOT WIDE STRIP BEING THE SOUTHERLY 7.00 FEET OF A 32.00 FOOT WIDE STRIP LYING SOUTHERLY OF AND CONTIGUOUS TO THE FOLLOWING DESCRIBED CENTERLINE.

BEGINNING AT A POINT ON THE WEST LINE OF THE AFORE-DESCRIBED PROPERTY WHICH LIES NORTH 0°03'00" EAST A DISTANCE OF 281.12 FEET FROM THE INITIAL POINT OF RETA FRANKLIN ADDITION AS FILED AND RECORDED IN BOOK 28 AT PAGE 22 OF THE LANE COUNTY OREGON PLAT RECORDS; THENCE SOUTH 89°30'25" EAST A DISTANCE OF 148.93 FEET; THENCE ALONG THE ARC OF A 158.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 16°15'16" AND A CHORD BEARING NORTH 82°21'57" EAST 44.67 FEET, A DISTANCE OF 44.82 FEET; THENCE NORTH 74°14'19" EAST A DISTANCE OF 141.80 FEET; THENCE ALONG THE ARC OF A 158.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 15°45'41" AND A CHORD BEARING NORTH 82°07'09" EAST 43.33 FEET, A DISTANCE OF 43.46 FEET; THENCE EAST A DISTANCE OF 137.26 FEET TO A POINT ON THE EAST LINE OF THE AFORE-DESCRIBED PROPERTY AND THERE TERMINATING.

THE SIDELINES OF BOTH SEVEN FOOT STRIPS TO BE EXTENDED OR FORESHORTENED TO TERMINATE ON THE EAST OR WEST BOUNDARIES OF THE PROPERTY.

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Date Received:

MAY 01 2015

Lane County Property Taxes Due Report

Tax Account # 0562791
Alternate Property # (maplot) 18-02-05-23-00100
Tax Code Area (TCA) 01900
Location 4164 JASPER RD SPRINGFIELD, OR 97478-6548*
Taxpayer JASPER JUNCTION LLC
 85831 PARKLANE CIR
 PLEASANT HILL, OR 97455

* Multiple site addresses exist on this tax account.

Property Values & Taxes

Real Market Value (RMV)					
	Land	Improvement	Total	Total Assessed Value	Tax
2014	873,281	606	873,887	178,152	3,235.06
2013	873,281	606	873,887	172,963	3,172.00

Current Year Assessed Value 178,152.00
Less Exemption Amount (0.00)
Taxable Value 178,152.00
Frozen Assessed Value 0.00
Exemption Type

Account Status

Account Status	Account Status Notes
<ul style="list-style-type: none"> • Active Account Current Tax Year 	
Remarks none	

Taxes Due for Account # 0562791

Delinquent Interest (if applicable) Computed Through: 4/17/2015

The tax shown is the amount certified in October unless a value change has been processed on the property, resulting in a tax correction. Value changes typically occur as a result of appeals, clerical errors and omitted property.

Year	Description	Tax	Minimum	Due Date
2014	Property Tax Interest	129.40	129.40	04/17/2015
2014	Property Tax Principal	3,235.06	2,156.71	11/17/2014

Taxes & Assessments due for Account Number 0562791: \$3,364.46

Date Received:

MAY 01 2015

Original Submittal

DEAR SIR: CASE NUMBER TP315,00003

We own property on HORACE ST AND ARE VERY MUCH OPPOSED TO ANY DEVELOPMENT ON IT AS WE ARE LIVING ON A FIXED INCOME AND ANY MORE ASSESSMENT TO IT WOULD MAKE IT VERY DIFFICULT FOR US, AS WE ARE BOTH IN OUR LATE 70'S.

So we are both opposed to this development. We beg you to vote AGAINST THIS!

THANK YOU
FOR YOUR TIME

ROBERT E. ROWNIE

ROBERT E. ROWNIE

4050 JASPER ROAD

SPRINGFIELD, OREGON

97478

Date Received: 5/22/2015
Planner: AL